



COURTHOUSE FEASIBILITY STUDY

AUGUST 14, 2020

TREANOR^{HL}

An aerial photograph of a vast mountain range, likely the Sierra Nevada, with a large lake in the foreground. The mountains are rugged and covered in dense forest. The lake is a deep blue, contrasting with the green of the surrounding landscape. The sky is a pale blue, and the overall scene is serene and majestic.

INTRODUCTION

I.

Moffat County Courthouse

FEASIBILITY STUDY

INTRODUCTION

The Courthouse Feasibility Study process was conducted in a collaborative and hands-on manner that involved multiple levels of communication and coordination. The process included participants from the Moffat County Commission and department heads and members of the 14th Judicial District. These stakeholders worked collectively to ensure that the overall goals of the county were developed holistically. These groups are listed to the right.

<h4>MOFFAT COUNTY COMMISSIONERS</h4> <p>Don Cook, District 1 Ray Beck, District 2 Donald Broom, District 3</p>	<h4>14TH JUDICIAL DISTRICT, MOFFAT COUNTY</h4> <p>Michael O’Hara, District Chief Judge Peggy Gentles, Court Executive Maria Malatino, Clerk of Court Matt Karzen, District Attorney Tim Griffith, Probation</p>
<h4>ELECTED OFFICIALS</h4> <p>Chuck Coob, County Assessor Tammy Raschke, County Clerk and Recorder Linda Peters, County Treasure Jesse Arthurs, County Coroner</p>	
<h4>ADMINISTRATION TEAM</h4> <p>Rebecca Tyree, County Attorney Jessica Counts, County Extension Roy Tipton, Development Services Lennie Gillam, Facilities Mindy Curtis, Finance Lynnette Siedschlaw, Human Resources Annette Norton, Human Services Mason Siedschlaw, Information Technology Jeff Comstock, Natural Resources Ed Wilkinson, Veterans Services Jesse Schroeder, Weed and Pest Tara Wojtkiewicz, Youth Services</p>	<h4>FEASIBILITY STUDY TEAM</h4> <p>TreanorHL Architectural Design JVA Consulting Engineers Civil/Structural Engineering Cator Ruma Mechanical Engineering Electrical Engineering Plumbing Engineering FCI Constructors Cost Estimating</p>

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EXECUTIVE SUMMARY

II.

BACKGROUND AND DEMOGRAPHIC INFORMATION

In March of 2020, Moffat County engaged TreanorHL and their consulting team to assist in the facilitation and creation of a Courthouse Feasibility Study for the county departments and the 14th Judicial District. This study was developed to address the space planning and needs assessment of the existing courthouse and a possible new county courthouse.

Moffat County was established in 1911 and is located in Northwest Colorado. The current courthouse located at 221 W. Victory Way was built in 1917. The building has undergone numerous remodels and one significant addition in 1962.

Current functions within the building include: County Assessor, County Clerk and Recorder, Elections, County Treasurer, County Commissioners, Administration, Natural Resources, Finance, Human Resources, Buildings and Grounds, Attorney, Development Services, IT/GIS, Youth Services, District Attorney, and County, State and District Courts. Functions not in the current facility that are expected to be in any new building include, Human Services, Weed and Pest Management, CSU, Extension Office and Veterans Services.

This feasibility study began with the distribution of surveys to each of the stakeholder groups to begin to capture basic information to frame the program discussions. The study focuses its attention on the condition of the facilities, the program spaces required to adequately perform the required functions and the facilities ability to support these programmatic requirements.

Throughout the feasibility study, the goal was to provide a safe and secure facility for court functions and purpose-designed spaces for



the county departments. Another key driver was to determine the most cost-effective use of the buildings to include not only the construction costs but the on-going life cycle and maintenance costs of the facilities.

Moffat County is the second largest county by area, covering 4,751 square miles. It was created out of the western portion of Routt County on February 27, 1911 and named after Denver mining and railroad mogul David Moffat.

The Yampa River flows west through the county seat of Craig and meets the Green River in Dinosaur National Monument near the Utah border. US Route 40 and State Highway 13 are the only major highways; US 40 runs east-west from Craig into Utah, and Highway 13 runs north-south from Meeker, through Craig, and into Wyoming. The county economy is mostly supported by energy development, including coal mining and natural gas drilling, although ranching, agriculture and tourism also contribute. Between 1922 and 1955, Moffat County mines produced more than 1.8 million tons of coal, including a peak period of

more than 100,000 tons annually between 1943 and 1951. Increasing energy demand throughout the 1960s spurred another coal boom in eastern Moffat County during the 1970s. Statewide coal production hit its peak at 40 million tons in 2004 but has been steadily declining since. Moffat County's coal mines have not escaped this downward trend. In 2013 production declined about 19 percent from the year before. Coal mining remains the most important part of the Moffat County economy, even as health care and retail have joined it as the top three local industries.

As electrical power generation continues to transition away from coal to cleaner options including wind and solar, Tri-State Generation & Transmission, Craig's power plant has announced in January of 2020 that it will close its coal mine and coal fired power plant units over the next decade. Unit 1 is slated for closure by 2025 and Units 2 and 3 will be retired over the next decade.

The U.S. Census Bureau estimated population of Moffat County to be 13,283 in 2019. This population represents a 3.7% decrease since the April 2010 Census count of 13,795. The Colorado State Demographer projected the County would not grow but remain largely stagnant through 2050.



EXISTING FACILITY CONDITIONS

The feasibility study included the review of two facilities, the existing Moffat County Courthouse located at 221 W. Victory Way, and a former Kmart building located at 1198 W Victory Way. The majority of the County departments and the Courts functions are housed in the existing courthouse. The study also included the program functions located in the Department of Human Services Building (595 Breeze Street,) County Extension Office (529 Barclay Street), Veterans Services (480 Barclay Street), and the Public Health Department (580 Pershing Street #300).

TreanorHL and our consultants conducted a facility assessment of the existing Courthouse. The full assessment can be found later in the report. Major deficiencies were found in the following areas:

- Compliance with current codes
- Safety and security
- ADA accessibility
- Aged mechanical, electrical, and plumbing systems
- No fire sprinkler system
- Inefficiency of the building envelope
- Deferred maintenance items.
- Inefficient program areas and significant security issues

The team also reviewed the former Kmart building. The full assessment for this building can also be found later in the report. The general finding was that the size and general condition of the building would make it a viable option to relocate the Courts and County Departments to this building. The following general items are recommended to be addressed:

- Replace the roof top mechanical units
- Replace electrical distribution equipment

- Increase the insulation values of the walls and roof to meet current Energy Code requirements
- Site improvements including repaving of parking areas



Existing Courthouse



Kmart building

FUTURE USE ANALYSIS

Based on the program space needs, the existing courthouse is not large enough to adequately house all the county departments and court functions. Two options were explored to provide the additional space needed.

The first option is to add a three-story approximately 55,000 sf addition to the existing courthouse for the courts and renovate the existing courthouse for the county departments. The addition would be located to the north of the existing courthouse on the existing parking lot with a new public entry between the existing and the addition with the main entrance being from the west. The new addition would be clad with a combination of stone or brick and stucco.

The second option is to renovate the former Kmart building for all court and county functions. A new pre-engineered building is proposed to be built to the east of the building for Facilities including space for all Facilities and County fleet vehicles.

A new entry would be constructed and the entry drive moved further away from the building to create an entry plaza. Portions of the existing façade would be clad in stone and stucco and windows added.



Existing Courthouse Site



Kmart Site

CONCLUSION

Through the feasibility study process two options for expansion were explored and the merits of each evaluated.

The option to renovate and add onto the existing courthouse allows the existing courthouse to continue to be utilized. By adding the new entry, court security screening concerns would be addressed and future security screening for the county departments could be achieved if desired. Due to the layout of the existing building and the load-bearing walls in the 1917 portion, department layouts in the existing building are not as efficient and some compromises had to be made to work around existing conditions. The addition also takes away a large portion of the existing parking. An additional parking lot could be added at a

county owned lot to the East of the site, but this is not included in the current scope proposed.

Any addition and renovation to the existing courthouse will require a multiple phase project. The new construction would occur first allowing the existing building to remain operational. All departments in the existing courthouse would move into the addition. The courts would occupy their permanent location awhile others may share space to accomodate the departments that will be located in the renovated building. The existing courthouse would be renovated upon completion the county departments could move into their permanent locations.

It is estimated the construction costs for this scope of work to be \$41,494,281. The “soft costs” are estimated to be \$4,012,542 bring this option to a total estimate of \$45,506,823.



Proposed addition and renovation to existing Moffat County Courthouse

Renovating the former Kmart building allows a more efficient department layout. A single point of public entry allows for security screening for the courts and would provide the option to screen all people entering the building if that is desired in the future. Ample parking is available on the existing site, allowing a portion of the existing parking lot for future pad site development.

The Kmart building allows all departments currently in the courthouse, along with departments currently located in other properties, to be in a single building. The approximately 93,000 square foot facility provides the required program spaces for all departments, needed program efficiencies, and meeting and storage areas. The layout also provides the needed security and public/staff separation required in a modern courthouse.

Should the county move to the Kmart building it would open the existing building for future development for a significant land opportunity in the downtown area.

It is estimated the construction costs for this scope of work to be \$23,482,761. The “soft costs” are estimated to be \$1,798,793 bringing this option to a total estimate of \$25,281,554.

The Kmart option is the lesser total project costs and will be completed in a single phase. There will be no impact to the current operation of the departments with this option.



Proposed Kmart renovation

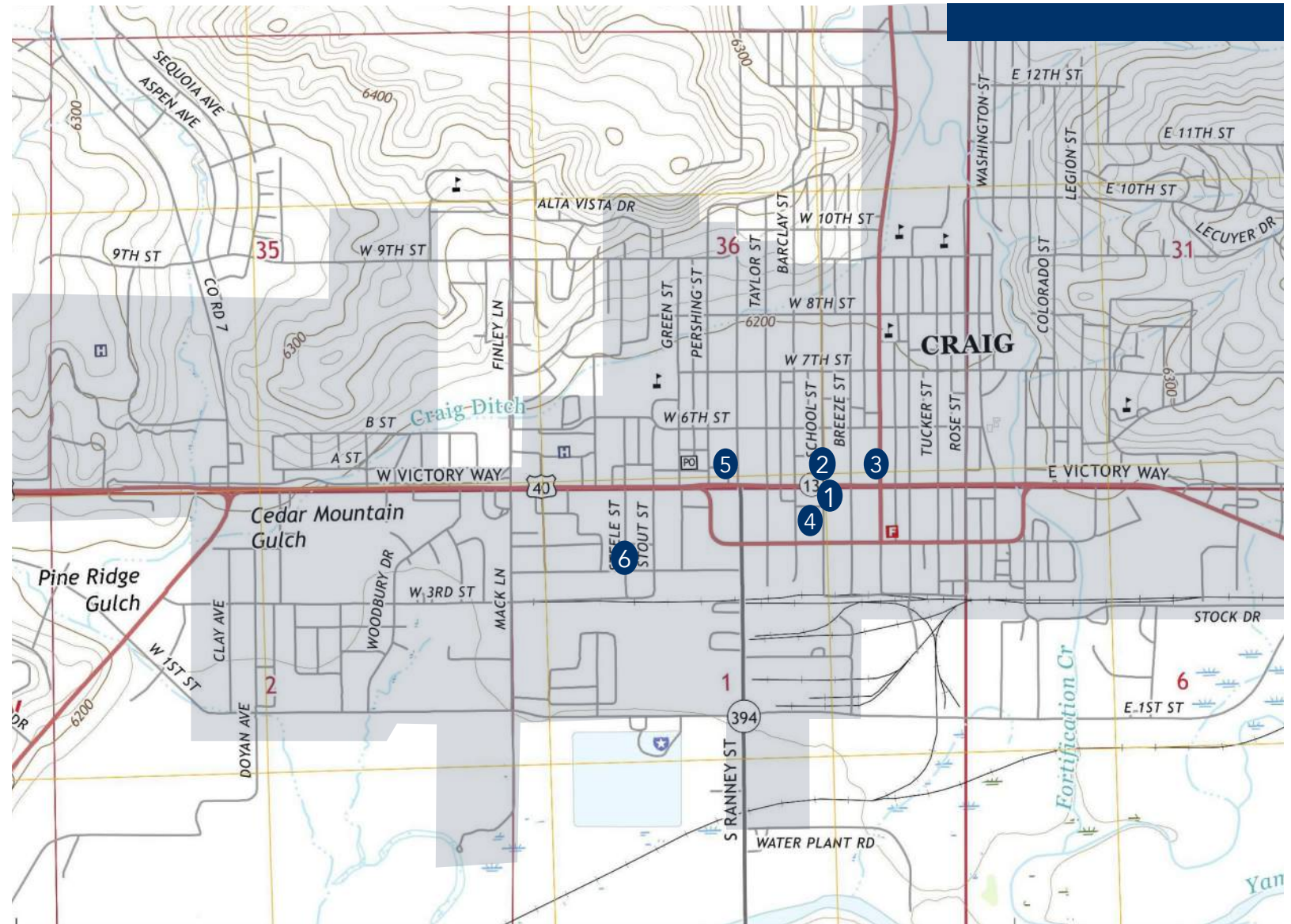


LOCATION OF FACILITIES

III.

LOCATION OF EXISTING FACILITIES

- ① Moffat County Courthouse
- ② County Extension Office
- ③ Department of Human Services
- ④ Veterans Services
- ⑤ Public Health
- ⑥ Former Kmart Building



GEOGRAPHIC LANDMARKS

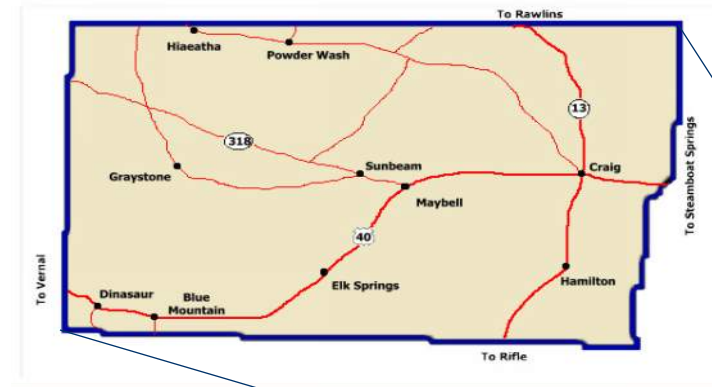
Moffat County is in the most northwestern corner of the state and is bound by Routt County to the East, Rio Blanco County to the south, state of Wyoming to the north and state of Utah to the west. The county has a total area of 4,751 square miles and is the second largest county in the state of Colorado. Craig is the county seat and most populous town in Moffat County with a population of 9,022 (Est 2019 Census).



Yampa River & Dinosaur National Monument



Browns Park National Wildlife Refuge



Major geographic landmarks in Moffat County include Cedar Mountain, the Yampa River, Trapper and Colowyo coal mines, and national protected areas. Cedar Mountain is part of the Elkhead Mountains which are the erosional remnants of a volcanic field located in Moffat and Routt Counties. The Cedar Mountain Special Recreation Management Area consists of 880 acres of public lands administered by the Department of the Interior, Bureau of Land Management. This horseshoe-shaped mountain stands 1,000 feet above the Yampa Valley. Because of Cedar Mountain's isolation from similar terrain, the rim provides a vantage point which offers a view of the surrounding countryside.

The Yampa River flows 250 miles through



Cedar Mountain

northwestern Colorado in the United States. Rising in the Rocky Mountains, it is a tributary of the Green River and a major part of the Colorado River system. The Yampa is one of the few free-flowing rivers in the western United States, with only a few small dams and diversions.

The Craig Power Station is Colorado's largest coal-fired electrical generating station. Operated by Tri-State Generation, the facility occupies a space of 1,120 acres and employs more than 300 people. Craig's primary coal sources are the Trapper and Colowyo mines, as well as other regional sources.

The Yampa River, along which the facility is situated, provides water for the turbines.



Trapper Coal Mine

Browns Park National Wildlife Refuge is located in the extreme northwestern corner of the state, in an isolated mountain valley of Browns Park. Established in 1965, the refuge is managed by the United States Fish and Wildlife Service office in Maybell, Colorado. The primary purpose of the refuge is to provide high quality nesting and migration habitat for the Great Basin Canada goose, ducks and other migratory birds. The refuge is home to approximately 200 species of birds at various times of the year. Dinosaur National Monument is located on the southeast flank of the Uinta Mountains on the border between Colorado and Utah at the confluence of the Green and Yampa Rivers. Most of the monument area is in Moffat County, Colorado. The park contains over 800 paleontological sites.



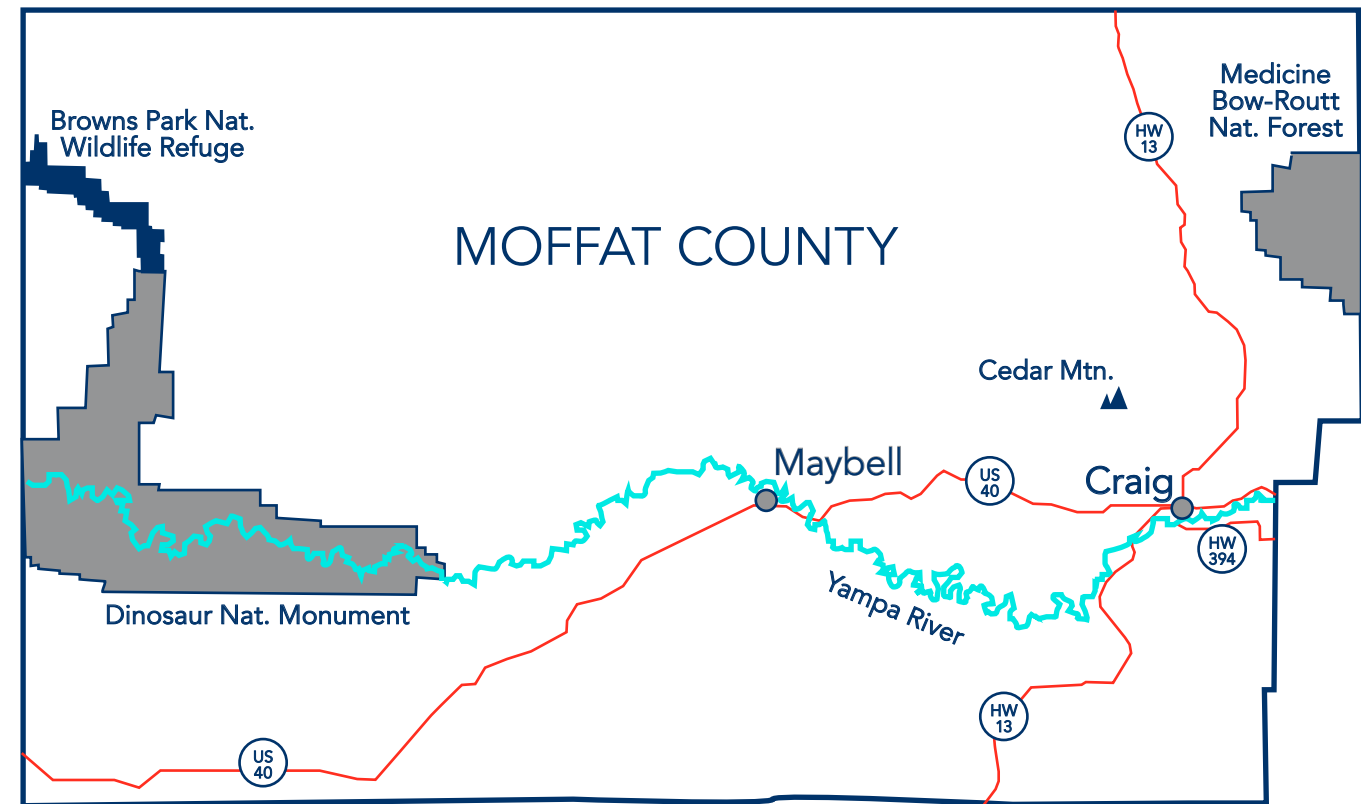
Medicine Bow-Routt

Medicine Bow-Routt National Forest is a U.S. Forest Service managed area extending over 2 million acres in the states of Wyoming and Colorado.

Yampa River State Park, a state park located along the Yampa River in Routt and Moffat Counties in northwestern Colorado in the United States, provides 13 access points for boaters along 134 miles of the Yampa River. Walkways and hiking trails explore the river's canyons and riparian zones, surrounding rock formations, and natural habitats.

Major transportation infrastructure and services in Craig include regional airports, and US and state highways. The Craig-Moffat County Airport is located approximately 4.5 miles southeast of Craig. Yampa Valley Airport, located east of Craig on U.S. 40, provides passenger jet airline service.

U.S. Highway 40 runs through Craig and is part of the system traveling from Silver Summit, Utah, to Atlantic City, New Jersey. It is a major east-west route. At a length of over 2,000 miles, US 40 is the longest numbered route in the state.



TRANSPORTATION AND SERVICES

State Highway 13 is a north–south state route that travels from Rife to the Wyoming border near Baggs, Wyoming, through the Rocky Mountains. State Highway 394 is a 9.4-mile-long state highway. Its western terminus is at U.S. Route 40 and SH 13 in Craig, and the eastern terminus is at the Moffat–Routt county line.

Major services in Craig include a Community College and a Regional Hospital. Colorado Northwestern Community College (CNCC) is a public 2-year community college, serving over 1,200 students with campuses in Craig and Rangely. It offers GED education, workforce training opportunities, Associates degrees, and Certificates.

Memorial Regional Health Hospital, located in Craig, includes a 25-bed hospital, multi-specialty medical clinic and a rehabilitation center, urgent care center, and pharmacy. The hospital employs over 350 people.



Denver and Salt Lake Railway



Memorial Regional Health



Craig-Moffat County Airport



Colorado Northwestern Community College



ELEVATION AND CLIMATE TRENDS

Elevation Data:

Craig: 6,198 feet above sea level
Maybell: 5,922 feet above sea level
Moffat County’s highest point: 10,865 feet above sea level
Moffat County’s lowest point: 4,993 feet above sea level

Square Miles:

Craig: 5.1 square miles
Maybell: 0.5 square miles

Climate:

Average days of sunshine: 242
Average annual snowfall: 74.8 inches

Summer:

A typical summer day is warm, dry, and mostly clear

Winter:

A typical winter day is freezing temperatures, snowy, and partly cloudy

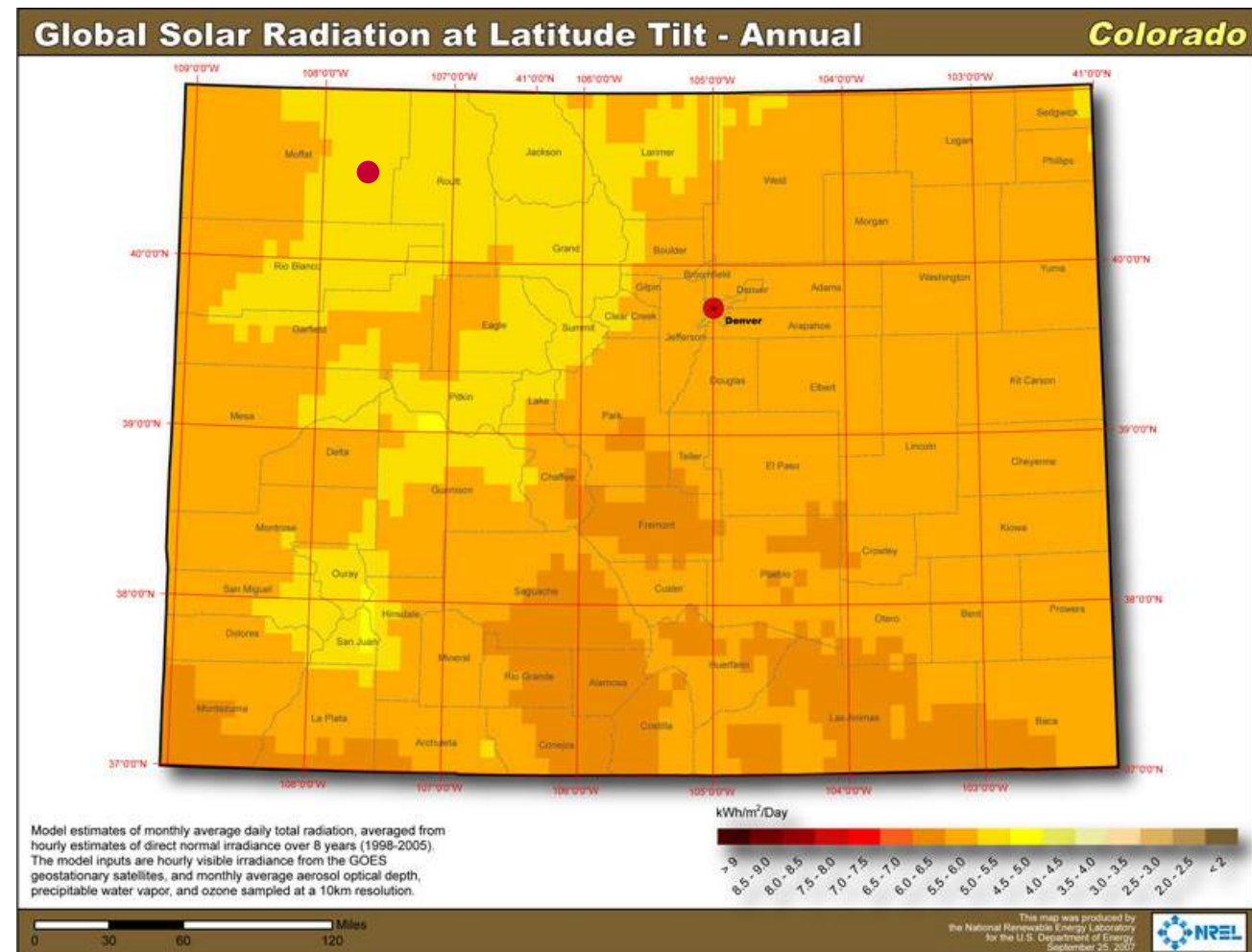
Temperatures:

Average January high temperature is 31° F
Average January low temperature is 7.3° F
Average July high temperature is 85.1° F
Average July low temperature is 49.3° F

RENEWABLE ENERGY OPTIONS

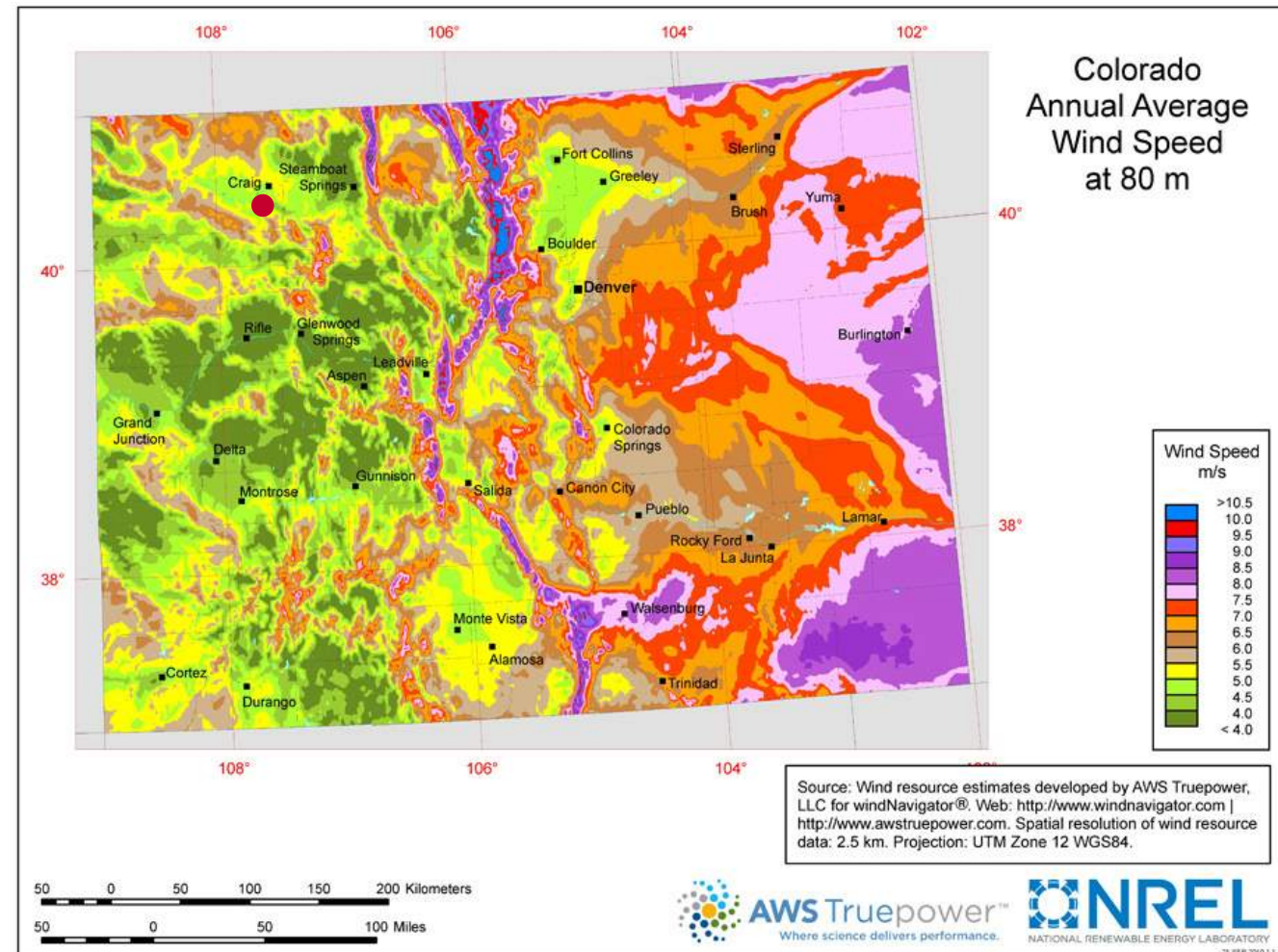
Colorado is fortunate to have a climate that is conducive to many types of renewable energy sources and Moffat County School District would be potentially be able to benefit from these various renewables. Final selection of renewable options would be at the discretion of the District and the design team for future projects, but based upon initial evaluation of available data, there are several potential sources.

Solar Power – The majority of the Moffat County receives between 5.0-6.0 kwh/m²/day making it in one of the moderate locations in the state for solar power concentrations. This would initially indicate that solar power is a potential option for the county.



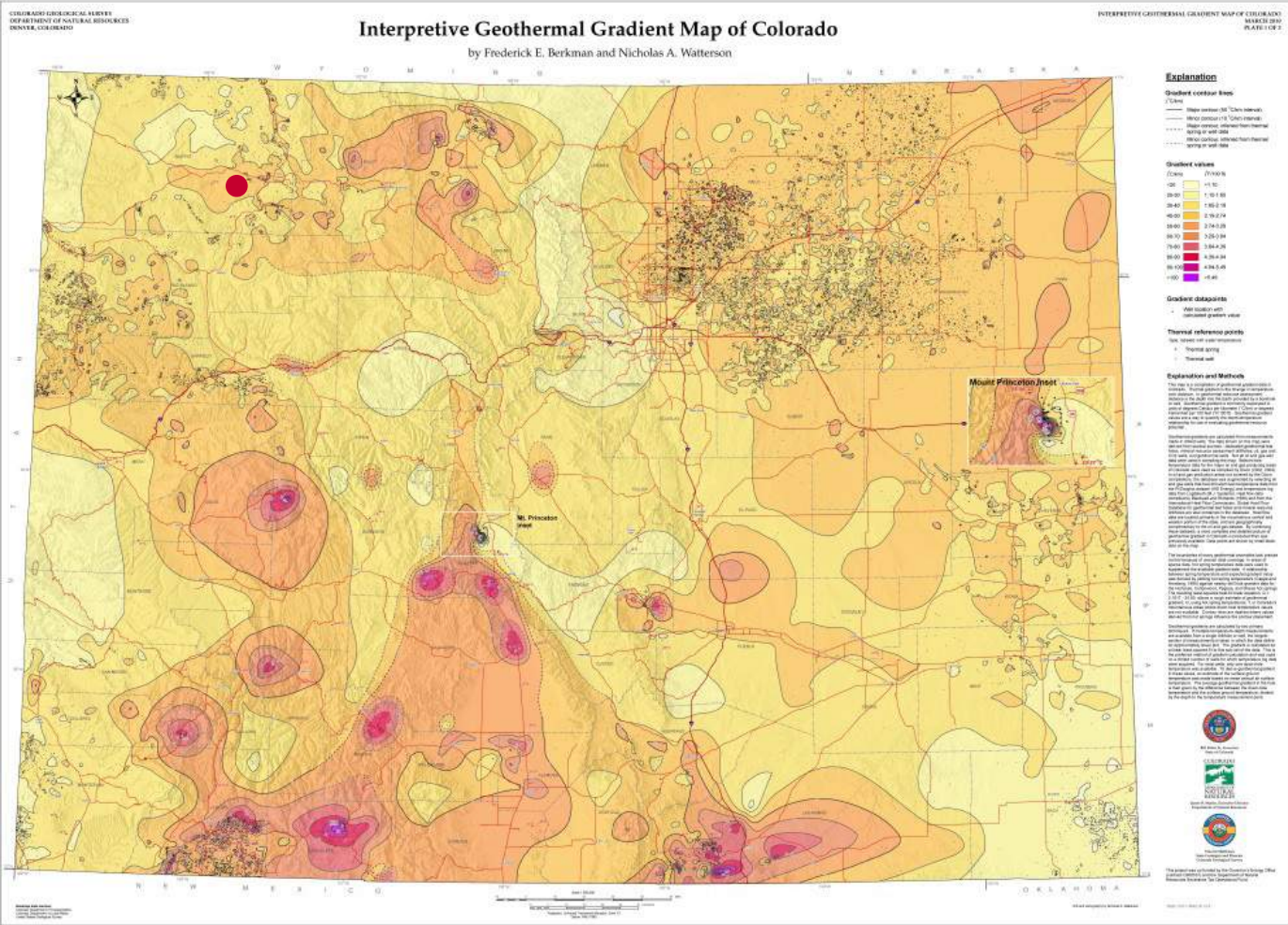
WIND

Within the Moffat County boundaries, the wind power class is rather low and the resource potential is poor. In small pockets of the northwest area of the district, the potential could be good to excellent, however these areas may not be large enough to support this renewable as a sustainable energy source.



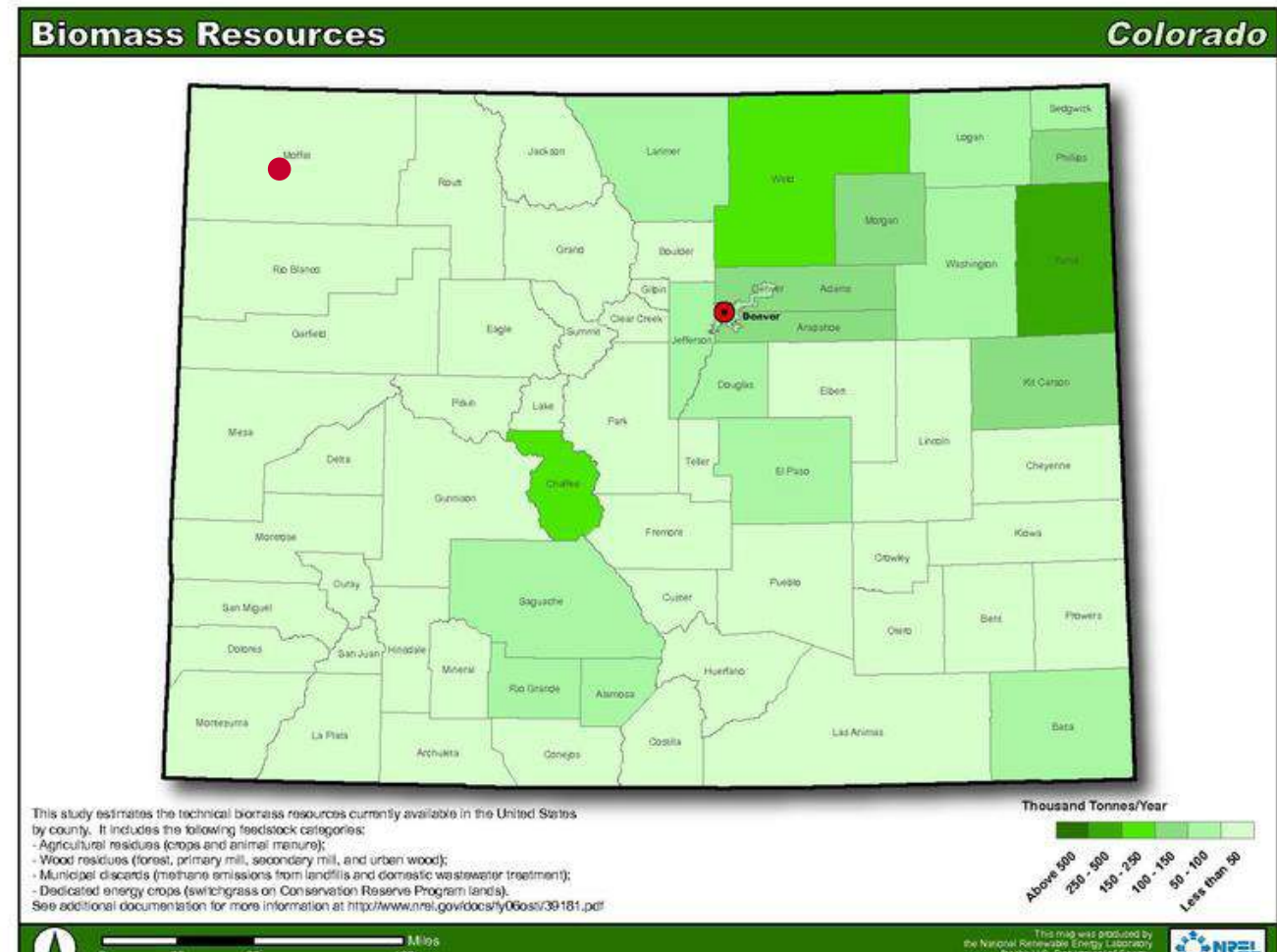
GEO THERMAL

The area of the state in which Moffat County is located seems to be determined as a Favorable to Most Favorable location for Deep Enhanced Geothermal Systems and therefore, this may be a renewable type that the district would want to investigate for the future.



BIOMASS

According to available information about biomass resources, Moffat County is in the Lower Range of tonnage available for the renewable resource.





FACILITY ASSESMENTS AND EVALUATIONS

IV.

FACILITY ASSESSMENTS AND EVALUATIONS

Representatives from TreanorHL, JVA, and Cator Ruma toured the existing courthouse and former Kmart buildings and did a visual inspection of the buildings and systems. Following are the summaries of our observations and recommendations to renovate each building.



EXISTING MOFFAT COUNTY COURTHOUSE

The existing courthouse, located at 221 W. Victory Way, Craig, Colorado, originally opened in 1917. The building was designed by architect W.N. Bowman. Bowman was a prolific architect in Colorado and served as the president of the Colorado chapter of the American Institute of Architects during 1917-1919. He was the architect of other county courthouses across the state and prominent buildings in Denver.

The three story 1917 stone building was designed in the classical revival style which was prevalent in the late 19th and early 20th century. The original courthouse had a portico with six stone columns.

The building was remodeled in 1932 and underwent an expansion in 1962. This renovation and addition transformed the building as the addition wrapped three sides of the original building. Designed by Nixon & Jones & Associates, known for their modern architecture and use of metal panels, the building transformed into a modernistic courthouse.



1917 Moffat County Courthouse



1962 Courthouse Expansion



1962 Courthouse Expansion



1932 Moffat County Courthouse

SITE

The courthouse site consists of four parcels on the main site and two parcels to the east of the main site. The county extension office is directly north of the courthouse along with a parking lot. The site to the east is a county parking lot.

The existing facility is served by School Street to the east, Barclay Street to the west and an access drive from W. Victory Way (US Hwy 40) to the south. On-street parking is provided on School Street and Barclay Street with on-site surface parking to the north and an ancillary surface parking lot to the east of School Street. The existing asphalt parking areas are in poor/failed condition with excessive longitudinal and traverse cracking and are expected to be removed and replaced. ADA pedestrian accessibility is from the on-street parking from School Street however is out of compliance due to steeper than allowable gradients. There are several

existing pedestrian walks and plaza areas that are expected to be removed and replaced due to tripping hazards and adverse grading against the building.

There are several areas surrounding the building that have negative grades that should be mitigated, however no drainage issues at the building interface were reported or observed. There is an existing sanitary collection main running under the building from north to south and water service from the north, both of unknown size and capacity with services that are expected to be removed and replaced if additional plumbing fixtures or fire sprinklers are anticipated and the addition will require service extension. Existing fire hydrant spacing is assumed to be adequate. There is no known storm drainage infrastructure on the existing site with surface drainage being conveyed generally radially away from the site. Existing zoning is sufficient to allow the intended use and expansions.



BUILDING

The existing building is four stories. Level one is a garden level. There are five entry points to the building; all open to the public that enter at grade between Level 1 and Level 2. Two entries provide accessible entry into the building; one into the east stair tower and one into the west stair tower, have ramps down to Level 1. The other entries all require going up or down stairs to access the building. Once inside the building, wayfinding is accomplished by directory signs at each floor, but these are only found in the south public corridor.

Level 1 houses Natural Resources and the Board of Commissioners offices, County Attorney, Finance, HR, IT, Youth Services, DA archive storage, Facilities, the shared copy room, and the old jail area that is used as storage.

Level 2 houses the Treasurer, Assessor, Development Services, a shared large conference room, Clerk and Recorder, Elections, the Commission chambers, a shared plotter room, and two offices used by the DA.

Level 3 houses the DA, Probation, Court Clerk, three Courtrooms, Judge's chambers, and a Jury room. Level 4 is part of the original 1917 building and has not been occupied for many years. A portion of the floor has been removed to raise the ceiling in one of the courtrooms. Some areas are used for long term storage.

Security is only provided on Level 3 and the security station is set up at the top of the open stair in the original part of the building. A significant back up occurs when more than a few individuals are being screened. The space for the security station is extremely tight and inefficient to screen people quickly. A separate metal detector is set up at the elevator, requiring the security guard to leave their post anytime the public uses the elevator.



Existing Level 3



Existing Level 2



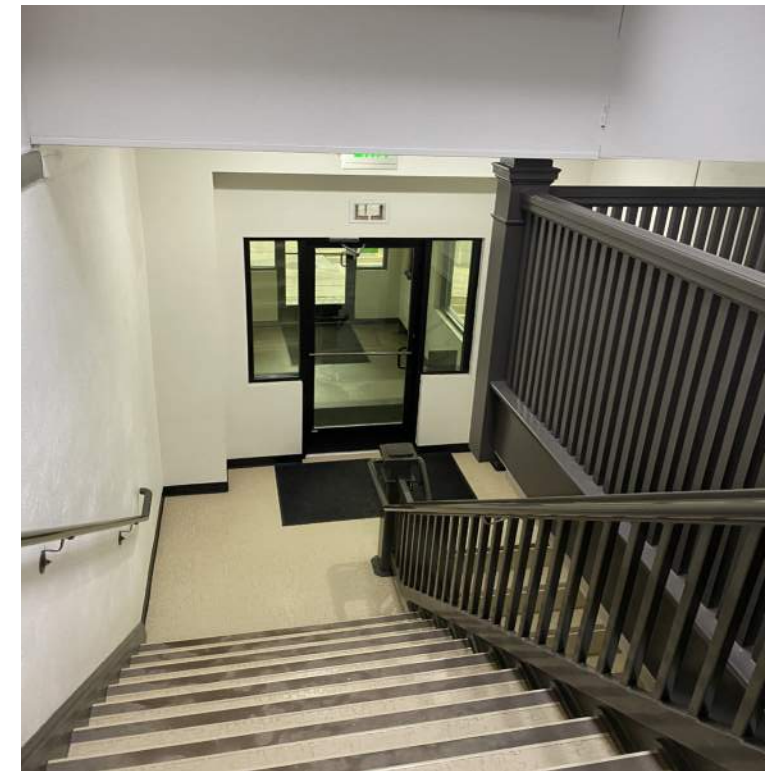
Existing Level 1

ADA accessibility, as noted, is provided at two of the entries by ramps to Level 1. An elevator in the 1962 addition provides access to Levels 2 and 3. The public restrooms on Level 1 appear to be ADA compliant. However, the public restrooms on the other levels do not appear to be fully compliant. A majority of the doors throughout the building also do not provide the required clearances and the sliding glass entry doors used through the 1962 addition to the departments also is not ADA compliant.

Limited existing drawings are available for the existing building, but it appears the 1962 exterior wall construction is a combination of concrete masonry unit (CMU) or brick with face brick, stucco, and metal panel cladding. Metal stud framing may have been used above and below windows with stucco cladding. It appears there is limited to no insulation in the exterior walls. The north wall of the 1917 addition is still an exterior wall and is an 18" load bearing stone wall. The windows throughout the building are non-thermally broken frames with double pane glazing. The existing roof is a PVC membrane roof that was completed in three

sections in 2006, 2007, and 2010. The building envelope does not meet current energy code requirements.

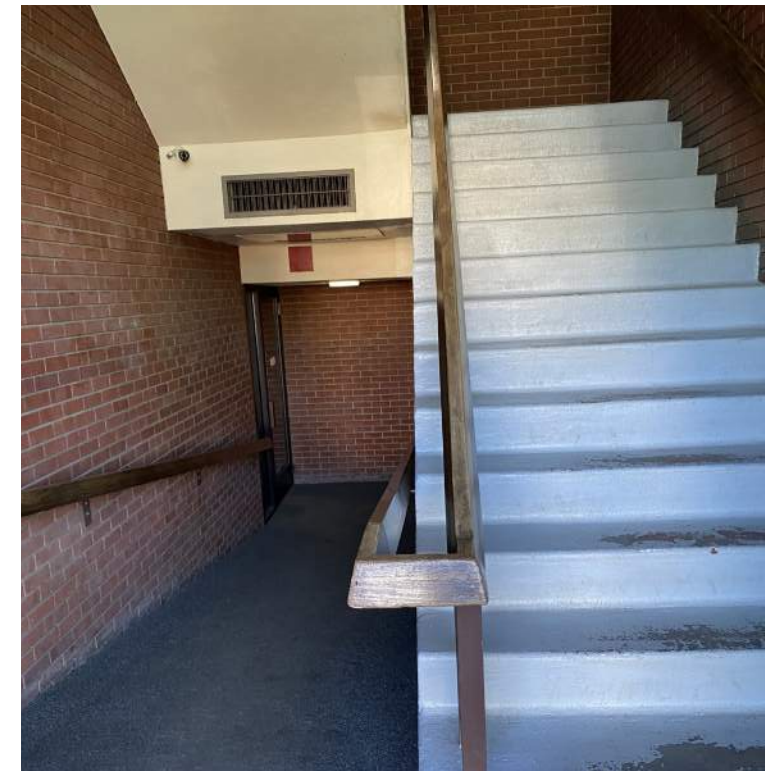
If the building were to be renovated, it would require replacing all windows and entry doors with a thermally broken aluminum storefront system with 1" high performance insulated glazing, replacing the roof with a new TPO membrane roof and replacing the roof flashing with painted aluminum flashing, tuckpointing the brick as needed, and repairing miscellaneous flashing as needed.



Interior finishes vary throughout the building. Most office areas have carpet, rubber base, painted walls, and acoustical panel ceilings. In some areas the finishes look to be recently replaced while other areas have worn carpet and walls that need to be repainted. Interior, non-load-bearing partition walls vary in their construction as well. Some appear to be metal stud walls with gypsum board while others have peg board or appear to be a type of panelized system.

The courtrooms and Commission chambers have carpet flooring, painted walls with some wood paneling and acoustical panel ceilings except the District Courtroom which has hard painted ceilings. Public corridors have carpet, VCT, or tile flooring. Walls finishes in the public corridors are a combination of painted walls and brick with either acoustical panel ceiling or painted gypsum board ceilings.

Any renovation would include new interior finishes on the wall, floor, and ceiling. Exterior walls would require insulation and furring with gypsum board. new interior walls would be metal stud with gypsum board.



STRUCTURE

The existing building was constructed in two eras. The initial construction was in 1917. This section has 4 levels and is rectangular in shape (approximately 57'-4" N-S x 75'-4" E-W). The structure consists of load bearing masonry walls at the perimeter and at interior locations. The building has a spread footing system. The wall thicknesses range from 12" to 20", made up of multi-wythe brick at the interior, and a combination of brick and stone at the exterior.

The lowest level (Basement) has a slab on grade. The first or main level of the building has a combination of cast-in-place concrete floors and wood framed floors. The second and third floors are wood framed. The portion of the 3rd level over the west courtroom in the 1917 building was remodeled and reinforced, reportedly during the 1962 construction.

The building has a wood framed roof system. A partial set, of water stained blueprints is available for the original 1917 building.

The second construction era occurred in 1962. A partial set of construction drawings for the 1962 addition is available. This element has three levels, matching the basement, first and second levels of the 1917 construction. The 1962 construction is "C" shaped wrapping the 1917 building on the west, north and east sides. This element has a steel framed superstructure, with cast-in-place, mildly reinforced concrete slabs at the supported floors.



The exterior treatment is a combination of brick veneer and storefront window systems. The main entry into the facility is on the south side of the 1962 building, where steps on both the west and east sides provide access to a covered, unheated plaza at the first floor. The existing drawings for this portion of the building show column spacing ranging from 10' to 16' in the east-west direction, and from 10'-6" to 16' in the north-south direction. It appears that lateral load resistance is provided by shear walls at the stairs and the elevator shaft. We also observed some eccentric braces at the steel framing in one location. The steel columns are set-back from the 1917 construction roughly 10', and the steel beams supporting the floor slabs and roof framing, cantilever out to meet the 1917 building. The 1917 structure appears to be in reasonably good condition. We did not observe any indication of significant movement or settlement reflected in the relatively rigid masonry bearing/shear walls. Similarly, the floors appeared to be in good condition, we did not observe sagging, or differential displacement that might suggest structural movement.

The 3rd level wood framed floor system and stairs to this level did creak when used. We observed both stacked rubble and board formed cast-in-place concrete foundation walls at the lower level. The existing drawings did not include material strengths or design loads.

The 1917 masonry bearing/shear walls are relatively thick and the framed floor areas are relatively small. With the limited information regarding the existing structural element capacities, and structural element configuration associated with buildings of this type built in this era, we anticipate that a major renovation program including MEP system upgrades would be complicated and possibly expensive.

Depending on the remodel program, significant testing of the existing materials may be required, and a new analysis of the lateral and gravity load resisting system relative to current code requirements may be triggered by the IEBC. This review may require reinforcing of both lateral and gravity load resisting systems in the 1917 building.

The 1962 building structure also appeared to be in reasonably good condition. Where visible at the space above the 2nd level ceiling, and below the supported first and second floors, the concrete and steel all appear to be in good condition. We did not observe any signs of material degradation, structural movement, or corrosion associated with leaks.

At one location on the 2nd floor, in the east-west corridor adjacent to the 1917 building, just east of the entry to the 1917 building, there is a small area of floor that noticeably sags and shakes when a person jumps on it. We observed the slab soffit below this area and did not see any signs of distress.

The columns are relatively closely spaced in this building. For the 1962 era building, material strengths and design loads could be determined based on building codes from that era and material sampling. A partial set of construction drawings for this building were observed on-site, but we did not see any structural drawings. The exterior of the building also appeared to be in relatively good

(cont. next page)



condition. We did not see evidence of significant structural movement reflected in the brick veneer or windows. We did see some evidence of weathering at the two stairs that serve the entry plaza.

The building would be easier to work with in a major renovation program, relative to the 1917 building. Consideration should be given to evaluation of the gravity and lateral design loads relative to changes in the Building Code since this building was constructed. Similar to the 1917 building, a major renovation may trigger provisions of the IEBC requiring review of the existing building subject to current code design loads.

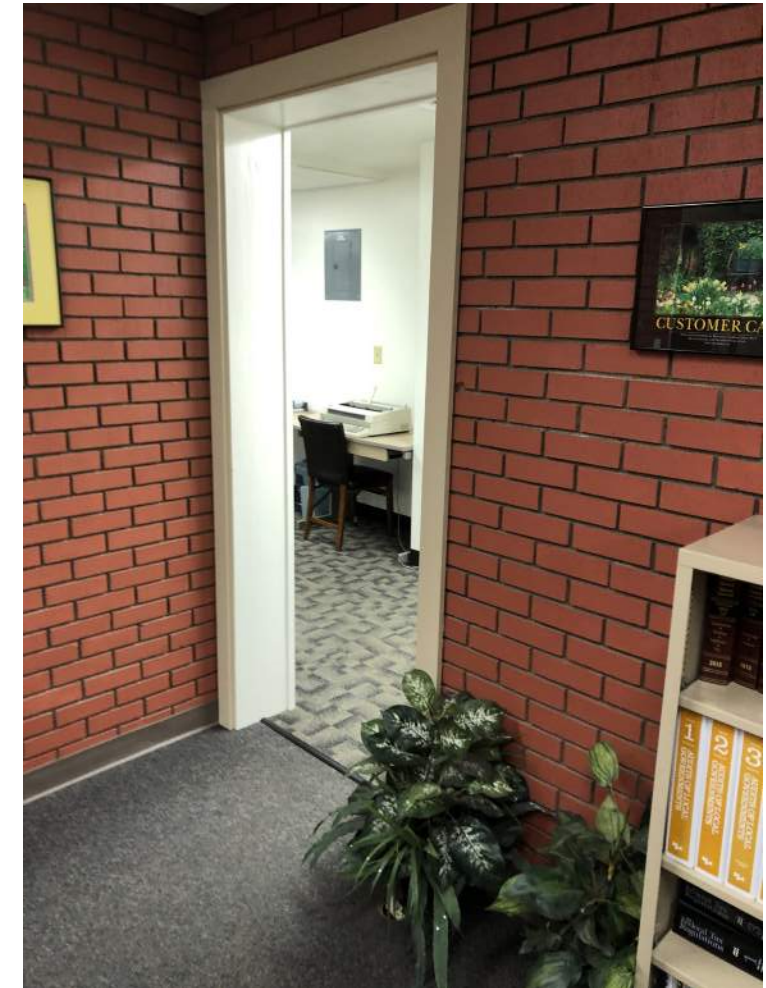
With respect to the relatively close column spacing, moving columns to create larger clear spaces will impact the gravity and lateral load carrying elements and likely be complicated and expensive.

We recommend considering the following systems for the new addition.



A steel framed superstructure to resist gravity loads, with 10" thick concrete core wall elements with 6 psf of reinforcing at the stair and elevator shafts for lateral load resistance. Consider column spacing of 32' o.c. in each direction and floor beams spaced at 8' o.c. typical. Steel framing will be approximately 12 psf for the supported floors and roof. The supported floors will use 2VLI20 composite steel deck with 4 ½" of 3,500 psi normal weight, concrete fill and 6 x 6 W2.9 x W2.9 WWF (6 ½" total thickness). Roof deck will be 3N19 supported on steel beams at 8' o.c.

For now, we recommend considering a spread footing system with allowable soil bearing pressure of 3,000 psf. Typical interior footings may be 14' x 14' x 2' with 8 psf of reinforcing. Perimeter column foundations will be 10' x 10' x 1'-8" thick with similar reinforcing. The perimeter foundation wall will be 15" thick with 4 psf of reinforcing to support a brick veneer over 6" steel studs (600S162-54 at 16" o.c. typ.). The strip footing below the typical foundation wall will be 2' x 1' with 4 psf of reinforcing. The slab-on-grade will be 5" thick, 3,000 psi, with #4 bars at 16" o.c. each way.



HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)

Building heat is provided by a modular natural gas hot water boiler plant located in the basement of the 1962 addition. The modules are of the condensing variety and include stainless steel heat exchangers with power burners. The boiler plant consists of four (4) modules each rated at 399 MBh (input), 379 MBh (output), with a gross plant output rating of 1,516 MBh. One of the modules is not currently operational and requires replacement. Combustion air is ducted directly to each boiler. Nameplate data indicates the units were manufactured in 2012. Two base-mounted circulation pumps distribute heating water to air handling units, fan coil units and unit heaters via a combination of steel and copper piping, dictated upon piping size.

An additional heating water system serving the original building is located in the mechanical room of the original building. The heating water system consists of a single boiler module (similar to those installed in the 1963 addition), in-line recirculation pumps, expansion tank and appurtenances. Heating water is distributed to an air handling unit and terminal units associated with the original building.

The facility is served by six multizone air handling units and two rooftop units. AHU-1, 2 and 3 are located in first floor mechanical rooms and are rated at 6,574 cfm, 5,460 cfm and 7,363 cfm respectively; AHU-4 and 5 are located second floor mechanical rooms and are rated at 6,280 cfm and 6,515 cfm. No performance data was available for AHU-6. The air handling units were installed in approx. 1963 based upon product data received from the manufacturer (which again would correspond to the original construction of the facility) placing the service life of the air handling units at 57 years.



The AHU's are equipped with variable frequency drives (VFD) and operate as constant volume. During the site review it was observed that the output of AHU-1 varied between 60% and 100%, however no input signal to the VFD is known to exist that would result in this change. The units consist of a mixing section, filter section, heating coil section, chilled water coil section, fan section and zone damper section. A brazed-plate heat exchanger and coil pump is installed in conjunction with each of the heating water coils for freeze protection. Per Facilities Personnel the air handling units were refurbished in 2012 in conjunction with mechanical infrastructure upgrades. The air handling unit refurbishment consisted primarily of controls upgrades, addition of VFD, replacement of fan motors, bearing replacement and surface cleaning of coils.

The two rooftop units serve the Courtrooms located on the third floor of the facility. The rooftop units were manufactured in 2012 and have a nominal cooling rating of 5 tons. The rooftop units are also equipped with a gas furnace section with an input rating of 130 MBh.

A 14 MBh DX fan coil unit serving the central office area in the basement is installed within the elevator machine room. Per ANSI A17.1 only machinery and equipment used in conjunction with the function or use of the elevator shall be permitted in the elevator machine room. The fan coil unit, associated ductwork, refrigerant and condensate piping shall be removed and reinstalled above the ceiling of the adjacent office space or within a new fan room if preferable.

No Testing, Adjusting and Balancing (TAB) report was available for the facility and therefore the actual performance of the equipment and the quantity of ventilation air introduced to the spaces is not known. Prior to 1973, the established ventilation rate was 10 cfm per person. The current design standard for an office occupancy is based on a ventilation rate of 5 cfm per person and 0.06 cfm per square foot. The completion of a TAB report for the facility should be utilized to demonstrate the performance of the HVAC system components and confirm that Code required ventilation rates are provided.



An air-cooled chiller provides chilled water to the facility. The unit was installed in 2017. Two base-mounted circulation pumps distribute chilled water to air handling units via a combination of steel and copper piping. Variable frequency drives provide control of the chilled water pumps, however based upon the use of three-way control valves throughout the facility, the pumps likely function as constant volume only. Relocation of the chiller to beyond the footprint of the proposed addition and the extension of the chilled water piping will be required based on the current concept.

Cooling is provided to the IT and select office spaces by direct expansion (DX), ductless split systems. Louvered face supply diffusers and perforated return grilles are typically utilized within the administration office areas.

Temperature controls are direct digital control (DDC) devices most of which installed as a retrofit project in 2013. The DDC system is manufactured by Distech. Installation of VFD's, damper actuators, control valve actuators and temperature sensors were included with the retrofit project. It was also

indicated that the control of select terminal units (e.g. finned tube radiation) were not migrated to the DDC system, with only operable manually available.

Facilities personnel indicated that the installer of the system (ESCO – Mountain) is no longer in business and therefore technical support is not readily available. Discussions between Cator, Ruma and Associates and the manufacturer indicate that the control system is still a supported platform. Facilities personnel do not possess any documentation of the control system and as of the date of this report Cator, Ruma and Associates was unsuccessful in securing any archival documentation from the local Distech representative. The Distech representative did indicate that the system information could be downloaded if an outside IP port were opened by the Moffat County IT group.

Recommissioning of the system should be undertaken to determine the functionality of the DDC system and to export control sequences for use by Facilities personnel.

An expansion of the controls system will be required to accommodate the installation of the terminal boxes/reheat coils associated with the VAV system in the renovated areas and for the construction of the addition.



Per ASHRAE (American Society of Heating, Refrigeration and Air Conditioning Engineers) 2019 HVAC Applications Handbook the median life cycle of the mechanical equipment/components are as noted below:

A. Air Handling Units

1. Fans – centrifugal: 25 years
2. Coils – hydronic, direct expansion: 20 years
3. Electric motors: 18 years
4. Dampers: 20 years

B. Controls – electronic: 15 years

C. Boilers, hot water – steel fire-tube: 24 years

D. Packaged chillers – reciprocating: 30 years

E. Pumps – pipe mounted (base-mounted): 20 years

F. Roof-top air conditioners – single zone: 15

G. Fans – centrifugal: 25 years

H. Ductwork: 30 years

I. Air Terminals – Diffusers, grilles and registers: 27 years

Based upon the median service life (equipment survival rate remains at or above 50%), failure of the primary components of the air handling units as noted above could be anticipated to occur in the near term. Additionally, it should be noted that the performance of the air handling units may be significantly diminished due to fouling of both the air-side and water-side heat exchange surfaces, resulting in inadequate heating and cooling of spaces.



The current version of the International Existing Building Code (i.e. Chapter 9: Alterations – Level 3) requires system alterations to conform to the International Energy Conservation Code (IECC) when the renovation involves 50% or more of the aggregate area of the building. Consequently, the IECC requires HVAC systems that serve multiple zones to be variable air volume (VAV) systems. The concept plans indicate significant modification of the floor plans; therefore, the cost of replacement of the air handling units should be included in the project budget. It is assumed that the replacement units would also be located in the current mechanical spaces, with the exception of AHU-6. The mechanical room associated with AHU-6 will be eliminated based on the concept floor plans. The spaces currently served by AHU-6 will be assumed by the remaining air handling units.

New VAV air handling units consisting of a mixing section, filter section, heating coil section, chilled water coil section and fan section would be provided. A new air distribution system consisting of medium-pressure ductwork, single zone terminal boxes with hot water reheat coils and low-pressure

ductwork will be utilized to serve the existing facility.

It is anticipated that a packaged VAV DX rooftop unit with a gas furnace section would be the design basis to serve the new addition. The unit would be provided with the following components and construction:

- Roof curb and 4" concrete equipment pad
- Solid double-wall construction
- Supply and return fan with VFD, premium efficiency motors
-
- Filter bank with MERV 8 Pre-filters; MERV 13 final filters
- Direct expansion (DX) cooling with high efficiency compressors with the capability for cooling modulation; hot gas bypass will not be utilized
- Gas furnace section with high turndown capability
- Minimum outside air damper section
- Economizer section with fault detection

Per Facilities personnel, the boiler plant has significant reserve capacity. It is recommended that the boiler plant be utilized to serve hot water reheat coils associated with the VAV terminal boxes to be installed within renovated areas of the current facility and in the new addition. The gas furnace section of the rooftop unit for the addition would be used for pre-heat function with the unit discharge air temperature reset to reduce the amount of reheat required.



ELECTRICAL

An existing pad mounted, utility company owner transformer is located near the Northwest corner of the building, providing 120/208-volt, 3-phase, 4-wire electrical service to the building. The existing service entrance feeder is routed underground from the utility transformer to the main distribution center located in the main electric/mechanical room in the basement. The existing main distribution center serves branch circuit panelboards and distribution boards located throughout the building. The existing utility company transformer appears to be located in an area that would be engulfed by the proposed building addition and thus will not be able to remain in the existing location.

The existing electrical distribution system appears to have been installed with the original building construction in approximately 1962. The existing

120/208-volt, 3-phase, 4-wire, 1200-amp main electrical distribution equipment appears to have reached the end of its useful life and appears to be undersized for the expanded building use.

Existing branch circuit panelboards located on the basement level appear to have been installed with the original building construction. Some of the existing branch circuit panelboards distributed throughout the building appear to have been replaced more recently with smaller load center type units. Branch circuit panelboards are located on some walls that that would be demolished.

Due to the age and rating of the existing equipment, replacement of the existing electrical distribution equipment is anticipated. Existing lighting and lighting control devices will be disconnected and removed throughout the building. Existing general power devices will be disconnected and removed where located on walls scheduled for demolition. Existing general power devices located on walls that will remain, such as exterior walls, will be replaced with new branch circuit conductors being provided to each.

The building does not appear to be equipped with an analog or addressable fire alarm system.



ELECTRICAL DISTRIBUTION

To meet current requirements of the National Electrical Code (NEC), a dedicated electrical room will need to be established to contain a new main distribution center and other electrical distribution equipment.

A new 277/480-volt, 3-phase, 4-wire, 2500-amp main distribution switchboard (MDC) with ground fault main circuit breaker and surge protection device is anticipated to be provided within the a new main electric room. New 2500-amp rated service entrance feeders will be routed underground from the MDC to the pad mounted utility transformer. Per NEC requirements, an alternate maintenance switch (AMS) will be required to temporarily reduce the short-time delay settings of the switchboard circuit breakers and illuminate an indicator light when the AMS is set in the "maintenance mode."

Branch electrical rooms will be required on level 2 and 3 of the existing Courthouse building. Additionally, branch electrical rooms will be required on each level of the building addition.

New branch circuit panelboards will be contained within the main electrical room and the branch electrical room to serve lighting, general power and equipment loads. Exact location and quantity of panelboards will be determined as the design progresses. A minimum of (1) 277/480-volt, 3-phase panelboard will be located in the main electric room and each branch electrical room to serve interior and exterior lighting loads.

Step-down transformers and 120/208-volt, 3-phase, 4-wire panelboards will be located in the main electrical room and each branch electrical room to serve general power and equipment loads. Dedicated 277/480-volt, 3-phase, 4-wire and 120/208-volt, 3-phase, 4-wire branch circuit panelboards and associated step-down transformers will be provided in the main electrical room and branch electrical room to

serve mechanical equipment loads located on the roof and throughout the building.

Branch circuit panelboards, sub-distribution boards and the main distribution switchboard will have copper bus bars. All circuit breakers will be bolt-in type. These may be plug-in type provided they have positive locking mechanisms. All lighting and power panelboards will be door-in-door type construction and provided with a minimum of 30% spare circuit breaker capacity

A main ground copper ground bar will be provided in the main electric room. Ground bars will be provided in each each electrical room and MDF/IDF room with ground conductor connections being provided back to the main ground bar. Ground connections will be provided from the main ground bar to building steel, cold water service, and driven ground rods, etc. as required by the NEC. All ground connections shall be made at each ground bar using 2-bolt mechanical lugs.

EMERGENCY ELECTRICAL DISTRIBUTION

An approximate 200kW (rated at site elevation), 277/480-volt, 3-phase, 4-wire standby diesel generator is anticipated to be provided near the Southwest corner of the building to serve emergency and standby loads. The generator will be equipped with a weatherproof, 75dba sound attenuated enclosure (Tier 2) and critical exhaust silencers. Additionally, fuel storage will be provided in a skid mounted UL 142 double wall tank to provide for a minimum twenty-four (24) hours of continuous operation under full load conditions. The generator will be capable of being on-line and providing power within 10 seconds. The size of the generator will be confirmed during the following design stages when additional load information becomes known.

A combination load bank/generator docking station with a lug connection cabinet and controls cabinet

will be located near the generator location to provide for temporary portable load bank and generator connections. This will allow for a truck mounted load bank or generator to be connected to the building system for maintenance of the main generator and for backup of the emergency system when necessary. Connections to the generator distribution board from the tap box will be provided.

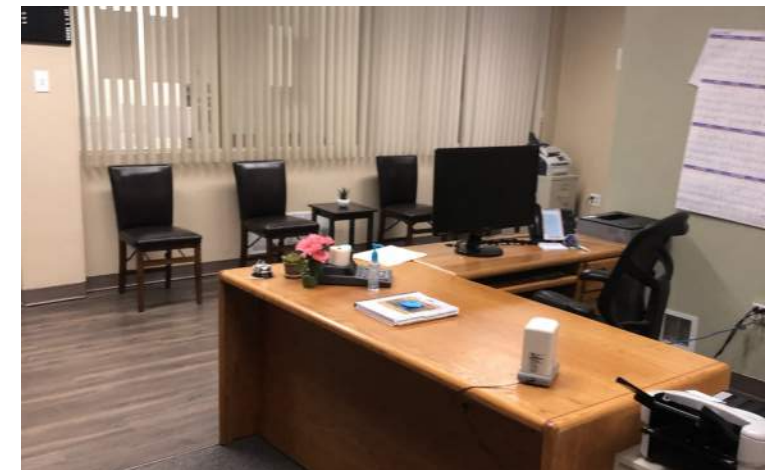
A dedicated emergency electrical room will be established to contain emergency distribution equipment.

The generator distribution switchboard will be rated at 400A – 480/277V with a 400A main circuit breaker. Circuit breaker types will be molded-case for the main breaker and molded case, adjustable trip electronic type on the feeder circuit breakers. Feeder circuit breakers will be provided to feed each automatic transfer switches for the emergency and standby systems.

Separate automatic transfer switches (ATS) will be provided for the emergency and stand-by

branches and will be located in the new emergency electric room per Code. Emergency and standby branch circuit panelboards will be located in emergency electrical room and branch electrical room serve emergency lighting, fire alarm system, communications equipment, and minimal building HVAC components.

The circuit breakers serving the emergency system will be selectively coordinated. Legally required and optional systems will be in separate vertical switchboard sections of the generator distribution switchboard.



LIGHTING

New interior lighting will consist of luminaires with integral LED sources. Luminaires will be specified with 0-10 volt electronic dimming drivers with the capability to dim to 1% output, 4000-degree Kelvin correct color temperature (CCT), minimum 85 color rendering index (CRI).

The interior lighting system design and luminaire selection for each space will be dependent upon design of ceilings and finishes within each individual space. The basis of design for the lighting system within some typical space types is as follows. The lighting system design will be refined and coordinated with the Architect as the design progresses into the next stage.

Circulation and Public Corridors: Recessed, 2x4 LED troffers and/or narrow aperture, recessed linear LED luminaires, varying in lengths from 4-ft to 8-ft.

Restrooms: Recessed, linear LED luminaires above the lavatories and restroom fixtures with recessed downlights in the circulation space.

Utility Rooms (Mechanical, Electrical, Technology, Janitor, Storage, Shop Areas, etc.): Chain mounted or surface mounted LED strip luminaires.

Private Offices: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

Open Offices and Group Work Rooms: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

Conference and Meeting Rooms: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

The existing parking lot lighting will be disconnected and removed. New pole mounted LED sources will be provided to illuminate any new parking areas. New parking lot lighting branch circuits will be routed below grade.

Existing exterior building mounted luminaires will be disconnected and removed around the perimeter of the existing Courthouse building. New building mounted LED luminaires will be provided as required at building egress locations and to provide safety and security lighting around the perimeter of the building.

The exterior lighting system will be designed to meet Moffat County and Town of Craig requirements with regard to CCT, CRI, light levels, etc. All exterior luminaires will be “dark skies” compliant.



LIGHTING CONTROLS

A new, digital, low-voltage lighting control system will be provided throughout the building to meet the requirement of the 2018 International Energy Conservation Code (IECC).

The lighting control system head-end equipment will be located in the main electric room.

Low-voltage devices consisting of on/off switches, dimmer switches, occupancy/vacancy sensors, daylight harvesting photocells, etc. will be located throughout the building to provide automatic controls per the IECC. Exterior lighting will be controlled by the lighting control system based on input from the integral astronomic timeclock and input from an exterior rated photocell.

GENERAL POWER

Each private office will be equipped with a minimum of (4) duplex receptacles.

Conference rooms and meeting rooms will be equipped with duplex receptacles around the perimeter walls and floor devices as required to conform to the requirements of 2020 NEC 210.65. Additionally, power connections will be provided in conference rooms to support any audio/visual equipment.

Power will be provided in each location as necessary for ceiling mounted projectors, projection screens, wall mounted digital displays, audio/visual equipment, etc.

Duplex receptacles will be provided throughout the building for general convenience power in corridors, lobbies, mechanical rooms, electrical

rooms, janitor closets, restrooms, elevator machine rooms and other similar spaces. Additional devices and circuits will be provided as required for electric water coolers, copy machines, refrigerators, coffee makers, dishwashers, garbage disposals, microwaves and other owner furnished equipment.



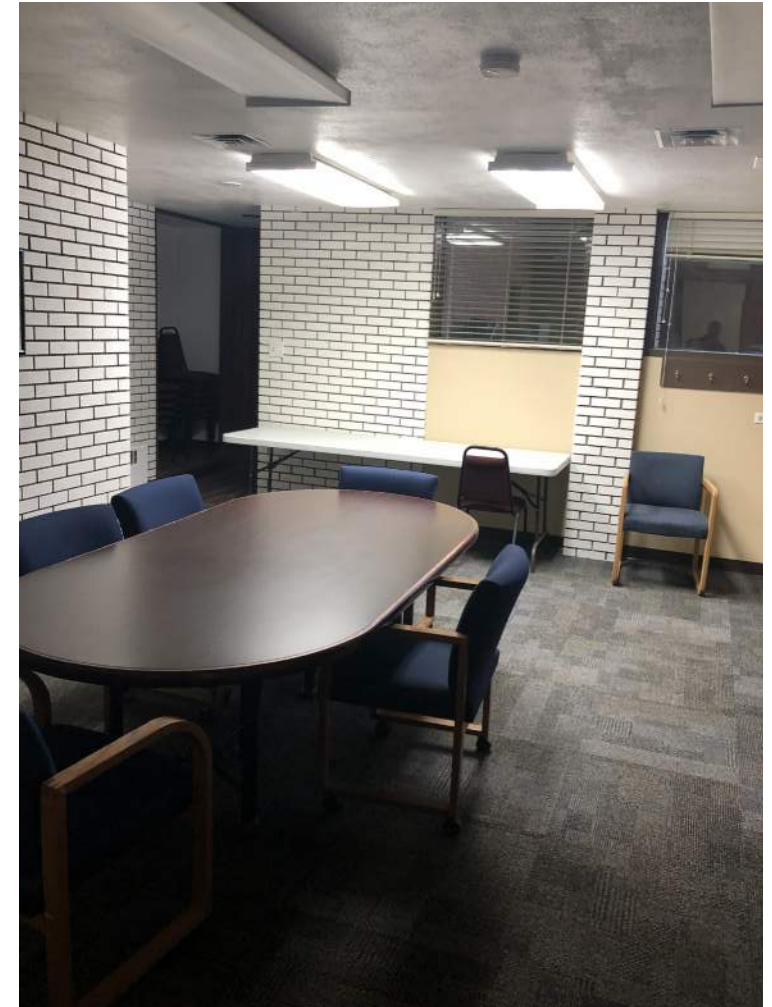
The telecommunication rooms(s) will be equipped with one general convenience receptacle and additional power connections and specialty receptacles as necessary for equipment racks, access control equipment, etc. One (1) NEMA 6-30 receptacle will be required in each telecommunication room.



Power will be provided for building mechanical equipment and other equipment as required.

Exterior receptacles shall be GFI type and provided with in-use type weatherproof covers. Receptacles will be located near each building entrance, near the loading dock and the utility service yard.

EMT conduit shall be used throughout the building for electrical feeders, electrical branch circuits, low voltage systems, etc. EMT conduit smaller than ¾" will not be allowed.



FIRE ALARM

The fire alarm system in this building is anticipated to be a digital, voice evacuation type system. The system will be capable of monitoring the sensitivity and calibration of each detection device and reporting alarms by an alpha-numeric display and on a remote printer. Each detection device and manual pull station will be addressable and report to the control panel as an individual device. Addressable interface models will be used to connect the sprinkler system flow and tamper devices to the system.

A graphic map will be located in the main building lobby or designated fire fighter's response location. This annunciator will indicate by LED which device is in alarm and if there is trouble on the system.

Manual Stations: Double action pull stations will be located at each exit door and where required to meet the travel distance limitations per NFPA.

Photoelectric Smoke Detectors: In all electrical and telephone closets, main electrical room, emergency electrical room, and other spaces as required by Code. Thermal detectors to be provided in janitor closets and mechanical rooms.

Duct Detectors: In all supply and return ducts required by code.

Audible and Visual Notification Devices: Audible and visual notification devices will be located throughout the building as required to comply with current codes and ADA Standards. Notification devices shall be wall or ceiling mounted, white with red "ALERT" marking.

Remote Test Stations: Remote test stations shall be the magnetic type as required by CSU Standards.

Fire Alarm Cabling: All fire alarm system cabling shall be routed in pre-finished "red" EMT conduit.



PLUMBING

Plumbing piping (domestic hot water, cold water, waste and vent piping) and fixtures are per original building construction with only minor modifications undertaken. A 3" domestic water service entrance is located in the basement room and is equipped with a pressure reducing valve and reduced pressure backflow preventer. Plumbing fixtures installed in conjunction with construction of the 1963 addition would not meet the water flow rate limitations as dictated by EPA WaterSense. Replacement of the plumbing fixtures should be included in project budgeting.

Natural gas service enters on the north side of the facility and serves heating boilers, water heaters and rooftop units. Relocation of the gas service entrance equipment to beyond the footprint of the proposed addition and the extension of the natural gas piping will be required based on the current concept.

Domestic hot water serving the fixtures installed within the 1963 addition is generated via a 40-gallon, indirect water heater (heating provided from boiler plant thru heat exchanger) rated at 115 MBh. The water heater was installed in 2012.

Two mini-tank type (2.7 gallon) water heaters are utilized to provide domestic hot water to the fixtures within the original building. These units are installed in the boiler room of the original building. The water heaters were manufactured in 2012. The tank of these units is warranted for 6 years against leakage, with remaining components warranted for 2 years.

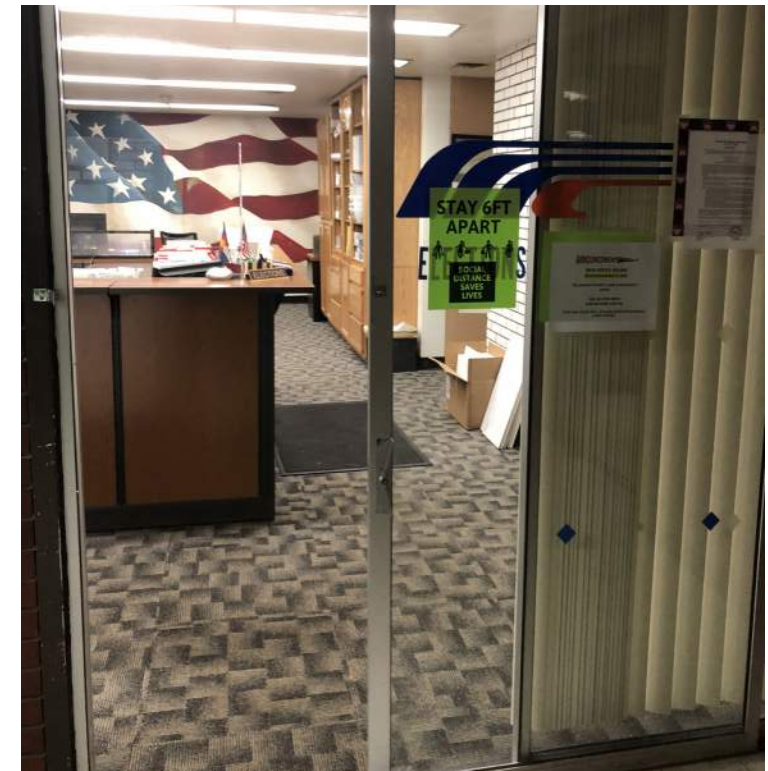
Primary storm drainage is provided by interior drains. The drains appear to consist of piping terminated at the roof deck with the roofing membrane adhered. Per the International Plumbing Code (IPC) 1105.1: inside of the roof drain shall not be obstructed by roofing membrane material. Additionally, IPC 1102.6 requires roof drains to conform to ASME A112.6.4 which identifies the materials of construction. The installation as described above does not comply with either Code section. The installation of manufactured roof drains (sump body, with flashing flange and dome strainer) should be planned.



Prior repairs of the sanitary sewer system completed by Facilities personnel revealed that the piping had deteriorated (corrosion through the top of piping) and could be indicative of a systemic issue, given the age of the piping.

A video inspection of the sanitary sewer system at the facility should be utilized to identify the overall condition of the system. Selective sampling of the piping is also recommended for the purpose of confirming wall thickness. Replacement of the complete sanitary sewer system is not anticipated, unless otherwise indicated by the video inspection or the results of the sampling.

It should also be noted that an existing city sanitary sewer main is routed directly below the current building as described by Facilities personnel. No issues to the building with respect to the sewer main were observed or identified by facilities personnel.



FIRE PROTECTION

No fire sprinkler system is installed within the facility. Current building Codes would require the installation of a fire sprinkler system throughout all stories of Group A occupancy to and including the levels of exit discharge. It is not known of the insurance underwriter for Moffat County requires the installation fire sprinkler systems. Many underwriters require the installation of fire sprinkler system for Group B occupancy (although not required by Code). The installation of a fire sprinkler system in both the existing facility and the new addition should be included in the project budget.

Standpipes are not required as the floor level of the highest story is less than 30 feet above the lowest level of fire department vehicle access. This would be applicable to both the current facility and the planned addition.



FORMER K MART BUILDING

The Kmart building is located at 1100 West 4th Street, Craig, Colorado. The facility was built in 1993 and served as an operating retail store until it closed in December of 2016. The building has been vacant since this closure.

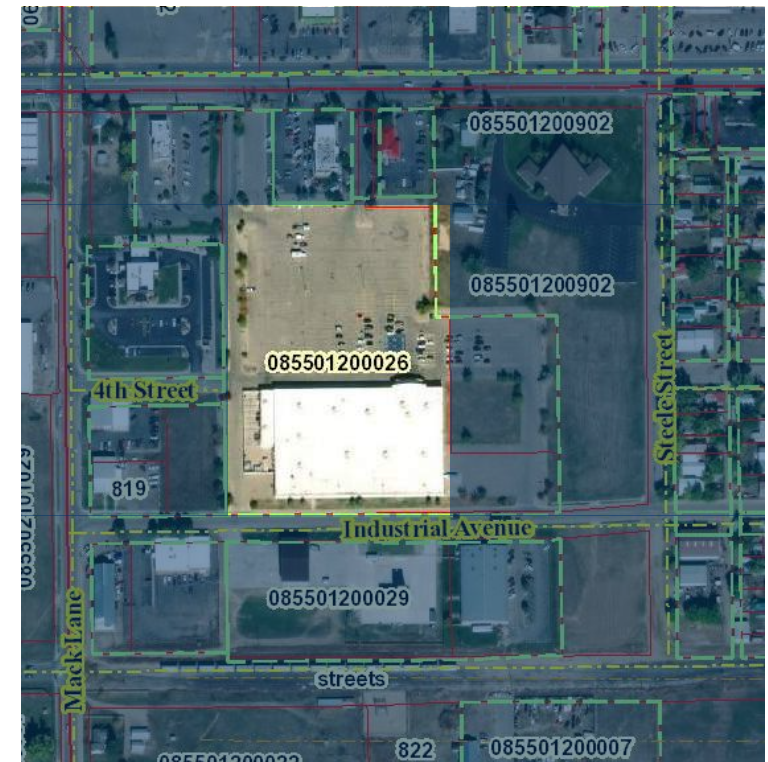
The 9.2-acre site stretches from the access road at Victory Way/US 40 to the north and Industrial road to the south. A large parking lot encompasses the northern portion of the site, while the building sites on the southern portion.



SITE

The former Kmart existing facility is served by Mack Lane which is reportedly privately owned and operated and not considered within the site scope of work. The site has ample asphalt surface parking on the north, west and east sides however is beyond its useful life and selected removal and replacement will be considered based on anticipated parking demands. The perimeter of the parking areas is surrounded with vertical curb and gutter that is in poor condition that will likely not be reused. ADA pedestrian access is from the north parking area that appears to conform with current regulations. The grading away from the building generally appears to be adequate. Roof drainage is routed to a storm sewer along the south side of the building.

There are a series of sump inlets throughout the parking area at the north that are likely conveyed to a detention pond area at the west side of the building and are expected to be reused. Sanitary and water infrastructure is available and with the building being fully sprinklered are assumed to have adequate capacity however out buildings may need service runs from available infrastructure. Fire hydrant spacing is likely not adequate and additional hydrants are anticipated.



BUILDING

The building entry faces north on the site. The main rectangular building exterior walls are singlewythe load bearing CMU. The north and south walls are 8" CMU and the east and west walls are 12" CMU. The front wall is split face while the other three walls are smooth face. All exterior walls are painted. The entry vestibule and garden center project out from the main rectangular footprint. The entry vestibule is steel framed with aluminum storefront down low and metal stud infill with an exterior insulation finish system (EIFS) up high. The steel columns are clad with split-face CMU. The garden center on the west side has singlewythe 12" CMU up to the bottom of the storefront windows with steel framing with metal stud infill and EIFS above. There are two overhead doors and a compactor door on the east wall toward the south end for the at-grade dock area. The main electrical and fire and water entrances are at the southwest

corner of the building. Any renovation would maintain the service entry at its existing location. The roof slopes from the north to the south with a gutter and downspouts along the south. The roof is a single-ply membrane on what appears to be two layers of rigid insulation.

The building envelope does not meet current energy code requirements. Any renovation would require adding insulation on the interior side of the exterior walls. Further investigation would need to be conducted, but for planning purposes we would recommend increasing the insulation on the roof to meet current energy codes and provide a new TPO membrane.

The building interior has minimal interior partitions with a few rooms around the building perimeter and a stock room in the back. A 5,500 sf wood framed mezzanine occupies a portion of the stock room. All interior partitions are stud walls and could easily be removed. Some areas do have VCT flooring that would also need to be removed and the main sales floor has an acoustical panel ceiling.



STRUCTURE

The building is one-story in height and approximately rectangular in plan with approximately 94,000 sf. The structural system consists of perimeter CMU load bearing/shear walls, and a steel framed interior roof support system. The interior columns are typically 6" to 8" TS sections at approximately a 34' x 40' bay layout. Steel bar joists spanning north-south at 6'-8" o.c., and joist girders at the east-west column lines support 1.5-inch x 20 ga. steel roof deck. There is a wood framed mezzanine across approximately 60% of the stock room located along the south wall of the building. The floor slab is a 4" slab-on-grade, reinforced with welded wire fabric. The building has a spread footing system with square pads at the interior columns and strip footings at the perimeter masonry walls. There is a smaller element of similar construction on the west side of the building, with a lower roof height; the old garden center.

The building structural systems appear to be in relatively good condition. We did not observe any indication of significant movement or settlement reflected in the relatively rigid masonry bearing/shear walls, or the slab-on-grade. The original construction drawings dated 1994, including Structural drawings are available for this building. Material strengths and design loadings are readily available. The Structural drawings indicate that the 1991 UBC was used to design the structural systems, and all of the design load criteria are indicated in the General Notes. The roof supports 18 small (1,600# to 2,900#) AC units distributed across the plan. This building was designed for B occupancy, and normal occupancy structural risk factors = 1.0.

With the readily available information and relatively modern code used for design, this building would appear to be well suited for adaptation. One issue to be aware of is the change of use to possibly include A-3 space, and if occupancy for the building reaches 300, this may trigger a Risk Category III under the current code requiring amplification of load factors to wind, snow and seismic forces to account for the higher risk to occupants. Another issue to be aware of is the change in Code minimum design wind loads since 1994, and the tendency to remove ballast from older buildings when replacing roofs. Particularly in big-box retail spaces like this, this may result in wind uplift load conditions that need to be addressed with additional joist bracing or placing dead load on the roof (pavers).

Based on the conceptual design to-date, remodel features may include new window and door openings in the existing masonry exterior wall, a new entry element on the north side, and open courtyards within the building interior. Smaller new CMU wall openings may be accommodated with loose lintels (L 5 x 3 ½ x 5/16 for each 4" of wall thickness). New openings larger than 8' wide may require the addition of steel H-frames (HSS 6 x 4 x 5/16) behind the masonry to serve as a header to support the masonry over the opening and provide jamb sections capable of transmitting wind loads to the roof diaphragm and foundation.



We expect the new vestibule construction to be similar to the new construction at the existing building. For new interior courtyards, new frost depth foundation walls (8" thick by 36" tall, 4 psf reinforcing) with strip footings (24" x 12", 4 psf reinforcing) will be required to support new steel stud (600S162-54 at 16" o.c.) framed walls. The simplest way to reconfigure the roof is to remove entire sections of roof decking and joists. A new edge angle will be required at the opening perimeter. If roof openings are not located at existing joist locations, new joists or new supplemental steel beams and posts, may be required, and joist girder panel point reinforcing may be required to support the new walls/parapet conditions.

Provided parapets are not extended, and any new exterior finish materials are relatively light (stucco, metal panels, etc. (not brick or stone veneer), we do not anticipate significant issues with the existing foundations and exterior bearing/shear walls.



HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)

The current system serving the facility is comprised of constant volume direct expansion (DX), gas-fired rooftop units (RTU). The rooftop units have capacities as follows:

RTU-1: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-2: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-3: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-4: heating: 350 MBh input, 217 MBh output; cooling: 20 ton nominal.

RTU-5: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-6: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-7: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-8: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-9: cooling only: 20 ton nominal.

RTU-10: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-11: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-12: heating: 143 MBh input, 89 MBh output; cooling: 5 ton nominal.

RTU-16: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-17: heating: 285 MBh input, 177 MBh output; cooling: 15 ton nominal.

RTU-18: heating: 65 MBh input, 40 MBh output; cooling: 3 ton nominal.

Note: RTU-13 thru RTU-15 were not used. Ventilation air is introduced to the facility by intake hoods on the rooftop units. No testing, adjusting and balancing report was available for review, therefore compliance with Code required ventilation rates could not be confirmed.

Per nameplate data the rooftop units were manufactured in 1993.

Numerous centrifugal roof exhaust fans provide general/toilet and process exhaust from the facility. The majority of these fans were installed in 1993 per nameplate data. Based upon the conceptual floor plan it does not appear that these units would be required and therefore will be demolished. It should be noted that several of these fans were within 10' of the roof edge. Current Code requires the installation of fall protection would be required should the fans remain.

Combination supply diffusers and return grilles are typically utilized within the main floor of the facility, with ductwork distribution limited primarily to office areas.

Temperature control system consists of thermostats located in the office area with remote temperature sensor located throughout the main floor.

Per ASHRAE (American Society of Heating, Refrigeration and Air Conditioning Engineers) 2015 HVAC Applications Handbook the median life cycle of the mechanical equipment/ components are as noted below:

- Rooftop Units
 1. Fans – centrifugal: 25 years
 2. Coils – DX: 20 years
 3. Electric motors: 18 years
 4. Compressors – reciprocating: 20 years
- Controls – electronic: 15 years
- Controls – electric: 16 years
- Exhaust Fans – centrifugal: 25 years
- Ductwork: 30 years
- Air Terminals – Diffusers, grilles and registers: 27 years



Based upon the median service life (equipment survival rate remains at or above 50%), failure of the primary components of the air handling units as noted above could be anticipated to occur in the near term. The cost of replacement of the rooftop units should be included in the project budget. Additionally, the current version of the International Existing Building Code (i.e. Chapter 9: Alterations – Level 3) requires system alterations to conform to the International Energy Conservation Code (IECC) when the renovation involves 50% or more of the aggregate area of the building. Consequently, the IECC requires HVAC systems that serve multiple zones to be variable air volume (VAV) systems. The concept plans indicate significant modification of the floor plans; therefore, replacement of air handling units and associated ductwork would have been dictated.

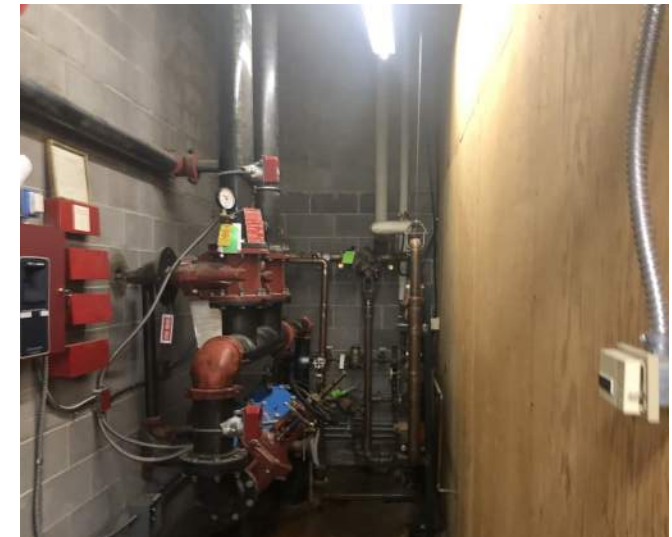
New VAV rooftop units consisting of a mixing section, filter section, a gas furnace heating section, DX cooling section and fan section would be provided and would be a combination of single zone and multiple zone VAV rooftop units. Alternatively, larger multiple zone VAV rooftop

units could potentially be utilized, however it is unknown if the roof structure could support this concept without significant modification.

Single zone VAV units are anticipated for open office areas, areas with similar occupancy/use and potentially the individual courtrooms. Low pressure sheet metal ductwork will be used for the air distribution for single zone VAV units. Multiple zone VAV units would be used where multiple spaces are served by a one unit, but the spaces potentially have wide variations in loads from space to space, such as conference and meeting rooms and are located among office areas. The distribution system for multiple zone units will consist of medium-pressure ductwork, terminal boxes with electric reheat coils and low-pressure ductwork. The gas furnace section of the rooftop units would be used for pre-heat function with the unit discharge air temperature reset to reduce the amount of reheat required.

A plenum return system will be utilized for both the single zone VAV and the multiple zone VAV systems.

The installation of a direct digital control (DDC) system should be provided. Much of the functionality of the packaged rooftop units resides within the units themselves. The control points that are resident in the rooftop units can be mapped to a DDC system to provide scheduling, remote access to unit operation, diagnostics for Facilities personnel, etc.

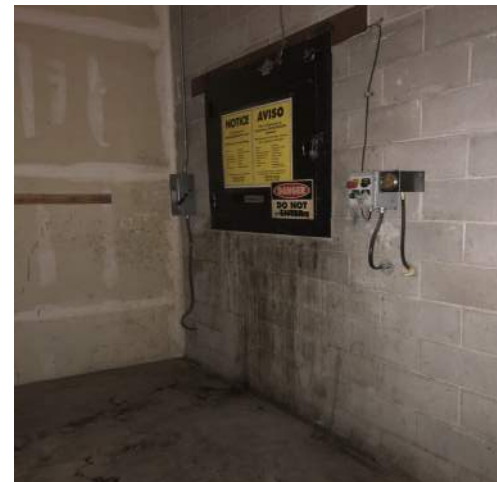


EXISTING ELECTRICAL

An existing pad mounted, utility company owner transformer is located near the Southwest corner of the building, providing 480/277-volt, 3-phase, 4-wire electrical service to the building. The existing service entrance feeder is routed underground from the utility transformer to the main distribution center located in the main electric room. The existing main distribution center serves branch circuit panelboards and distribution boards located throughout the building.

The existing electrical distribution system appears to have been installed with the original building construction in 1993. The existing electrical distribution equipment appears to have reached the end of its useful life and appears to be undersized for the revised building use. Thus, replacement of the existing electrical distribution equipment is anticipated.

The existing lighting, general power devices, and fire alarm devices will be disconnected and removed throughout the building. An additional branch electrical room is recommended to be located toward the East half of the building. Additionally, a new emergency electric room will be established near the main electric room to contain emergency distribution electrical equipment (automatic transfer switches, branch circuit panelboards, etc.)



ELECTRICAL DISTRIBUTION

A new 277/480-volt, 3-phase, 4-wire, 2500-amp main distribution switchboard (MDC) with ground fault main circuit breaker and surge protection device will be provided within the existing main electric room, along the West wall. New 2500-amp rated service entrance feeders will be routed underground from the MDC to the pad mounted utility transformer. Per NEC requirements, an alternate maintenance switch (AMS) will be required to temporarily reduce the short-time delay settings of the switchboard circuit breakers and illuminate an indicator light when the AMS is set in the "maintenance mode."

New branch circuit panelboards will be contained within the main electrical room and the branch electrical room to serve lighting, general power and equipment loads. Exact location and quantity of panelboards will be determined as the design progresses. A minimum of (1) 277/480-volt, 3-phase panelboard will be located in the main electric room to serve interior and exterior lighting loads.

Step-down transformers and 120/208-volt, 3-phase, 4-wire panelboards will be located in the main electrical room and branch electrical room to serve general power and equipment loads. Dedicated 277/480-volt, 3-phase, 4-wire and 120/208-volt, 3-phase, 4-wire branch circuit panelboards and associated step-down transformers will be provided in the main electrical room and branch electrical room to serve mechanical equipment loads located on the roof and throughout the building.

A minimum of (1) 277/480-volt, 3-phase, 4-wire and (1) 120/208-volt, 3-phase, 4-wire branch circuit panelboards and associated step-down transformer will be located within the new Vehicle and Trailer Storage building located East of the existing building.

Branch circuit panelboards, sub-distribution boards and the main distribution switchboard will have copper bus bars. All circuit breakers will be bolt-in type. These may be plug-in type provided they have positive locking mechanisms. All lighting and power panelboards will be door-in-door type construction and provided with a minimum of 30% spare circuit breaker capacity

A main ground copper ground bar will be provided in the main electric room. Ground bars will be provided in each electrical room and MDF/IDF room with ground conductor connections being provided back to the main ground bar. Ground connections will be provided from the main ground bar to building steel, cold water service, and driven ground rods, etc. as required by the NEC. All ground connections shall be made at each ground bar using 2-bolt mechanical lugs.



EMERGENCY ELECTRICAL DISTRIBUTION

An approximate 200kW (rated at site elevation), 277/480-volt, 3-phase, 4-wire standby diesel generator is anticipated to be provided near the Southwest corner of the building to serve emergency and standby loads. The generator will be equipped with a weatherproof, 75dba sound attenuated enclosure (Tier 2) and critical exhaust silencers. Additionally, fuel storage will be provided in a skid mounted UL 142 double wall tank to provide for a minimum twenty-four (24) hours of continuous operation under full load conditions. The generator will be capable of being on-line and providing power within 10 seconds. The size of the generator will be confirmed during the following design stages when additional load information becomes known.

A combination load bank/generator docking station with a lug connection cabinet and controls

cabinet will be located near the generator location to provide for temporary portable load bank and generator connections. This will allow for a truck mounted load bank or generator to be connected to the building system for maintenance of the main generator and for backup of the emergency system when necessary. Connections to the generator distribution board from the tap box will be provided.

The generator distribution switchboard will be rated at 400A – 480/277V with a 400A main circuit breaker. Circuit breaker types will be molded-case for the main breaker and molded case, adjustable trip electronic type on the feeder circuit breakers. Feeder circuit breakers will be provided to feed each automatic transfer switches for the emergency and standby systems.

Separate automatic transfer switches (ATS) will be provided for the emergency and standby branches and will be located in the new emergency electric room per Code. Emergency and standby branch circuit panelboards will be located in emergency electrical room and branch

electrical room serve emergency lighting, fire alarm system, communications equipment, and minimal building HVAC components.

The circuit breakers serving the emergency system will be selectively coordinated. Legally required and optional systems will be in separate vertical switchboard sections of the generator distribution switchboard.

LIGHTING

New interior lighting will consist of luminaires with integral LED sources. Luminaires will be specified with 0-10 volt electronic dimming drivers with the capability to dim to 1% output, 4000-degree Kelvin correct color temperature (CCT), minimum 85 color rendering index (CRI).

The interior lighting system design and luminaire selection for each space will be dependent upon design of ceilings and finishes within each individual space. The basis of design for the lighting system within some typical space types is as follows. The lighting system design will be refined and coordinated with the Architect as the design progresses into the next stage.

Circulation and Public Corridors: Recessed, 2x4 LED troffers and/or narrow aperture, recessed linear LED luminaires, varying in lengths from 4-ft to 8-ft.

Restrooms: Recessed, linear LED luminaires above the lavatories and restroom fixtures with recessed downlights in the circulation space.

Utility Rooms (Mechanical, Electrical, Technology, Janitor, Storage, Shop Areas, etc.): Chain mounted or surface mounted LED strip luminaires.

Private Offices: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

Open Offices and Group Work Rooms: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

Conference and Meeting Rooms: Narrow aperture recessed linear LED luminaires or suspended direct/indirect luminaires.

The existing parking lot lighting is anticipated to be disconnected and removed. New pole mounted LED sources are anticipated. New parking lot lighting branch circuits will be routed below grade and stubbed up within the building

footprint to the accessible ceiling space.

Existing exterior building mounted luminaires will be disconnected and removed. New building mounted LED luminaires will be provided as required at building egress locations and to provide safety and security lighting around the perimeter of the building.

The exterior lighting system will be designed to meet Moffat County and Town of Craig requirements with regard to CCT, CRI, light levels, etc. All exterior luminaires will be "dark skies" compliant.

LIGHTING CONTROLS

A new, digital, low-voltage lighting control system will be provided throughout the building to meet the requirement of the 2018 International Energy Conservation Code (IECC).

The lighting control system head-end equipment will be located in the main electric room.

Low-voltage devices consisting of on/off switches, dimmer switches, occupancy/vacancy sensors, daylight harvesting photocells, etc. will be located throughout the building to provide automatic controls per the IECC. Exterior lighting will be controlled by the lighting control system based on input from the integral astronomic timeclock and input from an exterior rated photocell.



GENERAL POWER

Each private office will be equipped with a minimum of (4) duplex receptacles.

Conference rooms and meeting rooms will be equipped with duplex receptacles around the perimeter walls and floor devices as required to conform to the requirements of 2020 NEC 210.65. Additionally, power connections will be provided in conference rooms to support any audio/visual equipment.

Power will be provided in each location as necessary for ceiling mounted projectors, projection screens, wall mounted digital displays, audio/visual equipment, etc.

Duplex receptacles will be provided throughout the building for general convenience power in corridors, lobbies, mechanical rooms, electrical rooms, janitor closets, restrooms, elevator machine rooms and other similar spaces.

Additional devices and circuits will be provided as required for electric water coolers, copy machines, refrigerators, coffee makers, dishwashers, garbage disposals, microwaves and other owner furnished equipment.

The telecommunication rooms(s) will be equipped with one general convenience receptacle and additional power connections and specialty receptacles as necessary for equipment racks, access control equipment, etc. One (1) NEMA 6-30 receptacle will be required in each telecommunication room.

Power will be provided for building mechanical equipment and other equipment as required.

Exterior receptacles shall be GFI type and provided with in-use type weatherproof covers. Receptacles will be located near each building entrance, near the loading dock and the utility service yard.

EMT conduit shall be used throughout the building for electrical feeders, electrical branch circuits, low voltage systems, etc. EMT conduit smaller than ¾" will not be allowed.

FIRE ALARM

The fire alarm system in this building is anticipated to be a digital, voice evacuation type system. The system will be capable of monitoring the sensitivity and calibration of each detection device and reporting alarms by an alpha-numeric display and on a remote printer. Each detection device and manual pull station will be addressable and report to the control panel as an individual device. Addressable interface models will be used to connect the sprinkler system flow and tamper devices to the system.

A graphic map will be located in the main building lobby or designated fire fighter's response location. This annunciator will indicate by LED which device is in alarm and if there is trouble on the system.

Manual Stations: Double action pull stations will be located at each exit door and where required to meet the travel distance limitations per NFPA.

Photoelectric Smoke Detectors: In all electrical and telephone closets, main electrical room, emergency electrical room, and other spaces as required by Code. Thermal detectors to be provided in janitor closets and mechanical rooms.

Duct Detectors: In all supply and return ducts required by code.

Audible and Visual Notification Devices: Audible and visual notification devices will be located throughout the building as required to comply with current codes and ADA Standards. Notification devices shall be wall or ceiling mounted, white with red "ALERT" marking.

Remote Test Stations: Remote test stations shall be the magnetic type as required by CSU Standards.

Fire Alarm Cabling: All fire alarm system cabling shall be routed in pre-finished "red" EMT conduit.

PLUMBING

The domestic water and fire service entrances are located in the water entry room in the southwest corner of the building. The 3" domestic water service and the 8" fire service are equipped with reduced pressure backflow preventers.

Domestic hot water for the facility is generated by three electric water heaters. The unit serving the main restrooms is rated at 4.5 kW, 17 gallon and installed in the janitor's room adjacent to the restrooms. A mini-tank type (2.7 gallon) water heater serves the sink in the original pharmacy area. An 18kw, 80-gallon water serves the area formerly operated by Little Caesars. Based upon the nameplate data the unit was manufactured in 2001. A significant amount of corrosion was observed on the unit.

Given the age of the units, salvage for re-use is not cost effective. Given that none of these spaces will not be retained based on the proposed floor plan, the units will be demolished.

Plumbing fixtures installed in conjunction with construction of the building would not meet the water flow rate limitations as dictated by EPA WaterSense. Replacement of the plumbing fixtures should be included in project budgeting. The current restroom locations were not incorporated into the proposed floor plan and as such, the fixtures would have been demolished.

FIRE PROTECTION

The facility is equipped throughout with wet and dry pipe fire sprinkler systems. Per the record documents the dry pipe system is utilized at the main entrance canopy, with coverage for the remainder of the facility provided by the wet-pipe system. Backflow protection was observed on the fire service entrance as noted in the plumbing section above. Modification of the system will be required to accommodate the new floor plan, ceiling elements, luminaires, etc. and provide coverage in accordance with NFPA 13 for light hazard occupancy. The discharge of the backflow preventer safety discharge is currently direct to the floor. The installation of a funnel and corresponding piping routed to the adjacent floor sink should be provided at the backflow preventer safety discharge.

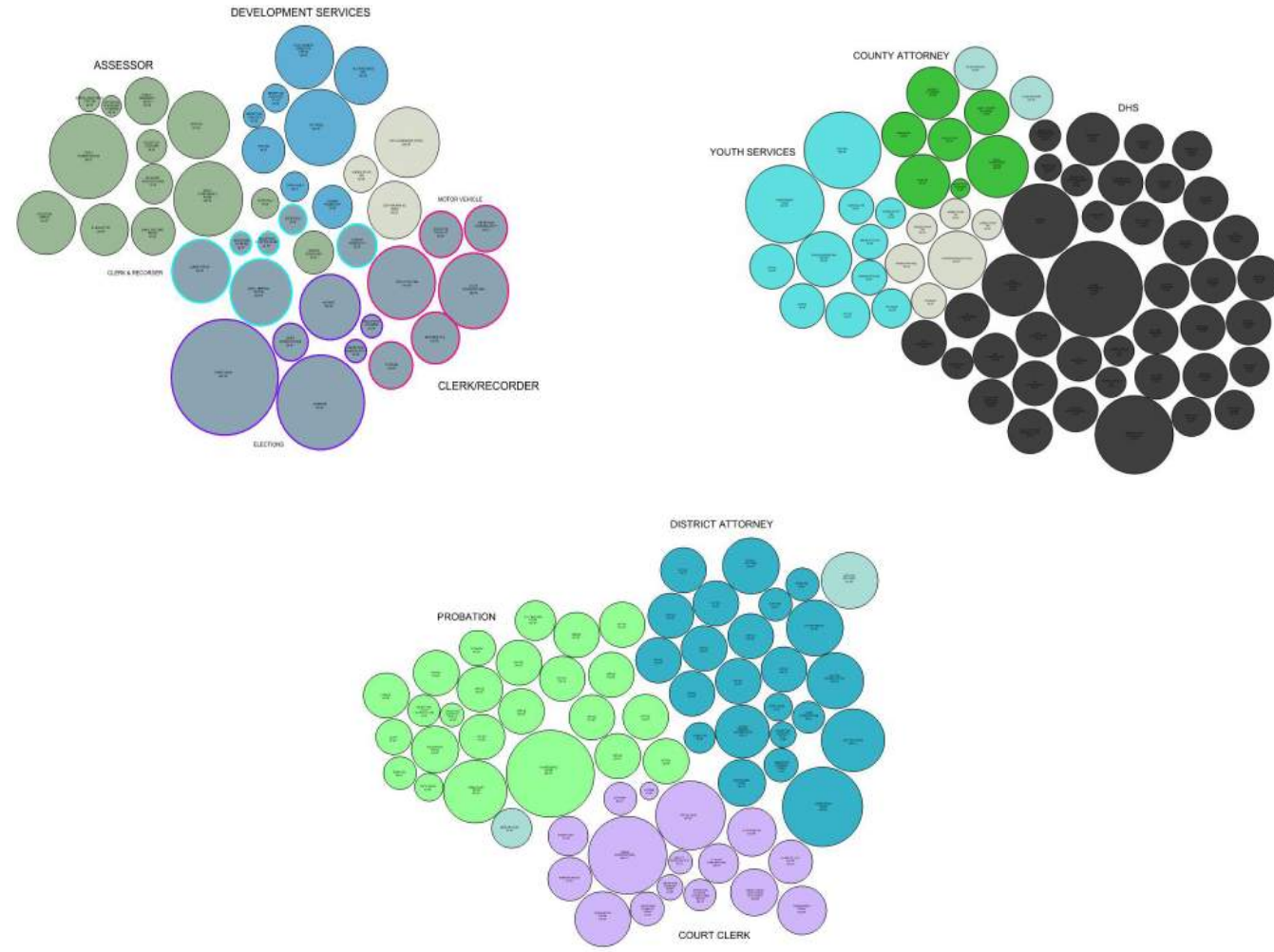
An aerial photograph of a wide river valley, likely the Grand Canyon, showing a winding river, steep cliffs, and distant mountains under a cloudy sky. A dark blue rectangular box is superimposed in the center, containing the text 'SPACE NEEDS' and 'v.'.

SPACE NEEDS

v.

SPACE NEEDS

TreanorHL gathered information from the stakeholder groups through an initial survey with follow up meetings and tours of each department. From this information, space needs programs for the Courts and County Departments were developed. Consideration was taken to accommodate anticipated growth over the next 20 years and spaces are noted that could be shared between departments.



Moffat County, Colorado					
Courthouse Feasibility Study					
	Room/Space	Qty	SF/ Room	Net SF	Totals
1	District Attorney				4,745 sf
	Reception Counter- Public	2	36	72	
	Reception Counter- Staff	1	42	42	
	Sub-Waiting Room	1	140	140	
	Victim / Witness Waiting Room	1	180	180	
	Public Toilet	1	60	60	
	Staff Workstations	1	64	64	
	Offices	9	130	1,170	
	District Attorney / ADA Shared Office	1	200	200	
	Regular Conference Room	1	400	400	
	Small Conference Room	1	175	175	
	Small Meeting Room	1	100	100	
	Copy/Work/File Area	1	50	50	
	Active Records	1	200	200	
	Archive Records	1	200	200	
	Coffee / Break Area	1	200	200	
	Unisex Staff Restroom	2	68	136	
	Sub-Total			3,389	
	Circulation Grossing Factor		40%	1,356	
2	Probation				3,976 sf
	Reception Counter- Public	1	36	36	
	Reception Counter- Staff (workstations)	1	64	64	
	Sub-Waiting Room	1	180	180	
	Public Toilet (UA)	1	72	72	
	Offices	14	110	1,540	
	Regular Conference Room	1	400	400	
	Small Conference Room	1	250	250	
	Copy/Work/File Area	1	50	50	
	Storage Room	1	80	80	
	File / Record Room	1	100	100	
	Unisex Staff Restroom	1	68	68	
	Sub-Total			2,840	
	Circulation Grossing Factor		40%	1,136	
3	Judicial Offices				2,614 sf
	Judge Chambers	3	375	1,125	
	Vesting Judge	1	160	160	
	Court Executive	1	120	120	
	Court reporter workstation	0	80	-	
	Reception	0	100	-	
	Conference room	1	250	250	
	Work / Copy / File	1	60	60	
	Storage	1	64	64	
	Coffee Area	1	20	20	
	Unisex Staff Restroom	1	68	68	
	Sub-Total			1,867	
	Circulation Grossing Factor		40%	747	
4	Courtrooms and Support Spaces				17,021 sf
	Regular Jury Courtroom	2	1,800	3,600	
	Large Jury Courtroom	1	2,400	2,400	
	Court Vestibule	3	80	240	
	Courtroom waiting	3	150	450	
	Attorney / Client Rooms	6	80	480	
	Jury Deliberation	2	300	600	
	Jury Toilet Room	4	68	272	
	Jury Vestibule	2	72	144	

Room/Space	Qty	SF/ Room	Net SF	Totals	Comments
Jury Service Station	2	10	20		
Bailiff Station	1	36	36		Adjacent to jury deliberation rooms
Jury Assembly	10	100	1,000		100 seats
Storage	1	120	120		Tables and Chairs
AV Storage	1	120	120		Tables and Chairs
Evidence storage	1	80	80		
Storage	1	120	120		
Court IT/Data/AV	1	80	80		
Courtroom Holding					
Holding Cells	3	72	216		(2) at courtroom pair, (1) at large courtroom
ADA Holding Cells	2	80	160		(1) at courtroom pair, (1) at large courtroom
Soundlock	2	200	400		(1) at courtroom pair, (1) at large courtroom
Central Holding					
Group Holding Cell	1	240	240		
Isolation Holding Cell	1	80	80		
ADA Holding Cell	1	100	100		
Sallyport	1	200	200		
Secure Vehicle Sallyport	1	1,000	1,000		
Sub-Total			12,158		
Circulation Grossing Factor		40%	4,863		
5	Court Clerk and Court Support			3,363 sf	SCREEN PUBLIC
Reception Counter- Public	2	24	48		(1) public (1) collections (full time)
Reception Counter- Staff	1	42	42		part time
Reception Counter- Staff (collections investigator)	1	100	100		workstation
Sub-Waiting Room	8	24	192		
Meeting room	1	120	120		Access from sub-waiting and staff
Clerk of the Court Office	1	140	140		
Clerk workstations	6	64	384		8'x8' workstations
Bailiff workstation	1	36	36		6'x6' workstation
Family Court Facilitator /SLR Office	1	140	140		meeting with 3-4
IT Tech Workstation	1	100	100		
IT Workroom	1	150	150		
Conference room	1	250	250		8- 10 persons
Active Files	1	220	220		
Archive Records	1	100	100		
Work / Copy / File	1	100	100		
Coffee Area	1	20	20		
Break Area	1	200	200		
Unisex Staff Restroom	1	60	60		
Sub-Total			2,402		
Circulation Grossing Factor		40%	961		
6	Building Support			5,447 sf	SCREEN PUBLIC
Entrance Lobby	1	240	240		
Security Screening	1	250	250		
Security Queuing Area	50	8	400		Queuing for 50 people
Exit Vestibule	1	80	80		
Public Restrooms	2	200	400		
Vending	1	20	20		
Custodial	3	50	150		
IT/Data	3	100	300		
Building Storage	1	300	300		
Building Maintenance	1	200	200		
Building Electrical	1	450	450		
Mechanical Room	1	1,250	1,250		To be verified

Room/Space	Qty	SF/ Room	Net SF	Totals	Comments
IT Room	1	150	150		
Sub-Total			4,190		
Circulation Grossing Factor		30%	1,257		
Program Component					
1 District Attorney				4,745	
2 Probation				3,976	
3 Judicial Offices				2,614	
4 Courtrooms and Support Spaces				17,021	
5 Court Clerk and Court Support				3,363	
6 Building Support				5,447	
Base Building Subtotals.....				37,165	
Unit Gross Subtotals (Net Area)					
Structural Design 'net to gross' factor (.02 x net square feet)		2%	743		
Mech/Elec Distribution 'net to gross' factor (.05 x net square feet)		5%	1,858		
Multi-floor factor/ Two stairs, Two Elevator (800 square feet)		-	-	TBD	
Building Circ. & Ext. walls: 'net to gross' factor (.07 x net square feet)		7%	2,602		
Gross Area Total (On-Site)				42,369	

Moffat County, Colorado Courthouse Feasibility Study					
Room/Space	Qty	SF/ Room	Net SF	Totals	Comments
1 Assessor Department				2,561 sf	
Public Waiting	8	24	192		Connect with Clerk and Treasure?
Reception Counter - Public	2	24	48		
Public Research Room	1	100	100		Adjacent to public counter, access public and staff
Reception Counter- Staff (workstations)	2	36	72		Part time use
Historical Document Storage	1	20	20		Shelving; adjacent to public counter and public research room; fire/water safe
Staff Workstations	5	64	320		8'x8' workstation
Micro/Laserfiche station	1	24	24		
Assessor Office	1	180	180		desk plus meeting area for 4 people
Small Meeting Room	1	100	100		2-4 persons; intense research; accessible to other departments(?)
Small Conference Room	1	250	250		6-8 persons; potential to share with Treasure Dept.
Copy/Work/File Area	1	50	50		Share with other departments (Treasure, Clerk and Recorder, Development)
Active Files	1	120	120		Central county archive area
Archive Files (off site)	1	120	120		Fireproof; share with Development, Clerk/Recorder
Safe / Vault	0.3	120	40		workstation plus map storage; plotter; share with Development, Clerk/Recorder
GIS / Map Room / Copy	0.3	200	67		Coffee/Microwave/Mini-frig/Sink; shared with Clerk, Development, Treasure
Coffee Area	0.3	200	67		
Unisex Staff Restroom	1.0	60	60		
Sub-Total			1,829		
Circulation Grossing Factor		40%	732		
2 County Attorney				1,915 sf	SCREEN PUBLIC
Public Waiting	4	36	144		waiting for 3-4 with public window
Reception Counter - Public	1	24	24		
County Attorney	1	180	180		desk plus meeting area for 4 people
Assistant County Attorney	1	140	140		Shared staff w/ DHS; locate in attorney suite
Paralegal	1	130	130		Window access to sub-waiting room
Small Conference Room	1	250	250		6-8 persons
Active Files	1	120	120		Central county archive area
Archive Files (off site)	1	120	120		Share with DHS
Work / Copy / File	0.5	100	50		Share with DHS
Storage Room	0.5	80	40		Share with DHS
Break/ Kitchen	0.5	220	110		Share with DHS
Unisex Staff Restroom	1	60	60		Share with DHS, Probation; (3) total
Sub-Total			1,368		
Circulation Grossing Factor		40%	547		
3 County Clerk & Recorder				4,804 sf	
Motor Vehicle					
Reception Counter - Public, Motor Vehicle	4	24	96		
Public waiting , Motor Vehicle	10	24	240		
Reception Counter - Staff, Motor Vehicle	4	24	96		
Staff Workstations - Motor Vehicle	4	64	256		8'x8' workstation
Motor Vehicle Storage	1	100	100		License plates, stickers, tags, etc.
Records / File	1	120	120		Share with Recorder
Elections					
Reception Counter - Public, Elections	1	24	24		
Reception Counter - Staff, Elections	1	24	24		
Public waiting , Elections	8	24	192		
Staff Workstations- Elections	1	64	64		8'x8' workstation
Elections "War" Room	1	600	600		Dedicated to elections
Elections Storage	1	400	400		Adjacent to "war" room, storage for ballot machines, ballots
Elections Archive Storage	1	150	150		Central county archive area
Recorder					
Reception Counter - Public, Recorder	1	24	24		
Public Research Room	1	200	200		(3) workstations for Recorder

	Room/Space	Qty	SF/ Room	Net SF	Totals	Comments
	Reception Counter - Staff, Recorder	1	24	24		
	Staff Workstations - Recorder	1	80	80		8'x10' workstations
	Records / File	1	120	120		Share with Motor Vehicle
	Clerk / Shared Spaces					
	Reception Counter - Public, Liquor/Marriage	1	24	24		
	Reception Counter - Staff, Liquor/Marriage	1	24	24		
	Clerk Office	1	140	140		
	Small Meeting Room(s)	2	100	200		2-4 people meeting room, individual wellness
		0	120	40		Fireproof; share with Development, Assessor
	GIS / Map Room / Copy	0.3	200	67		workstation plus map storage; plotter; share with Development, Assessor
	Coffee Area	0.3	200	67		Coffee/Microwave/Mini-frig/Sink; shared with Clerk, Development
	Unisex Staff Restroom	1	60	60		
	Sub-Total			3,431		
	Circulation Grossing Factor		40%	1,373		
4	Coroner				280 sf	NOT IN PUBLIC AREA
	Office	1	200	200		(2) desks with file storage
	Refrigerator area	1	80	80		in secure sallyport
	Sub-Total			200		
	Circulation Grossing Factor		40%	80		
5	Development Services				1,707 sf	
	Reception Counter - Public	1	24	24		
	Public waiting	4	24	96		
	Reception Counter- Staff (workstations)	1	36	36		
	Development Director Office	1	180	180		Future Bldg. Inspector, space for plan tables in offices
	Office(s)	2	130	260		Future Bldg. Inspector, space for plan tables in offices
	File/ Record Rm	1	150	150		
	Records Storage	1	300	300		Central county archive area
	Safe / Vault	0	120	40		Fireproof; share with Assessor, Clerk/Recorder
	GIS / Map Room / Copy	0.3	200	67		workstation plus map storage; plotter; share with Clerk/Recorder, Assessor
	Coffee Area	0.3	200	67		Coffee/Microwave/Mini-frig/Sink; shared with Clerk, Development
	Unisex Staff Restroom	0	60	-		Included in Treasure/Clerk
	Sub-Total			1,219		
	Circulation Grossing Factor		40%	488		
6	Department of Human Services				8,128 sf	SCREEN PUBLIC
	Reception Counter - Public	2	24	48		
	Public waiting	10	30	300		
	Reception Counter- Staff Assistant	1	64	64		8'x8' workstations
	Reception Counter- Administrative Assistant	1	64	64		8'x8' workstations
	Work / Copy / File	1.0	80	80		
	Small Conference Room	1	250	250		6-8 persons
	Large Conference Room	1	600	600		18-20 persons, training, shared
	Administration					
	Director Office	1	180	180		
	Administrative Assistant	1	64	64		8'x8' workstations
	Foster Care Coord	1	130	130		
	Assistant County Attorney	0	120	-		Moved to County Attny.
	Self Sufficiency					
	Self Sufficiency Manager	1	130	130		
	SS Case Manager	10	108	1,080		
	Interview Rooms	6	100	600		
	Unisex Public Restroom	2	60	120		
	Observation/ Playroom	1	400	400		Access to exterior?
	Child welfare					
	Casework Services Manager	1	130	130		
	CW Caseworker	6	108	648		

	Room/Space	Qty	SF/ Room	Net SF	Totals	Comments
	CW Case Services Aide	2	108	216		
	CW CCR Coord & Finance Tech	1	108	108		
	Administrative Assistant	1	64	64		8'x8' workstations
	Archive Files (off site)	1	120	120		Central county archive area
	Storage	1.0	100	100		
	Work / Copy / File	1.0	80	80		
	Break/ Kitchen	0.5	220	110		Share with County Attorney
	Unisex Staff Restroom	2	60	120		Share with County Attorney, Probation; (3) total
	Sub-Total			5,806		
	Circulation Grossing Factor		40%	2,322		
7	Facilities				7,650 sf	
	Office	1	180	180		
	Staff work area	1	350	350		Lockers, small meeting area, sink, coffee
	Storage- General	1	250	250		Supplies, Overstock
	Storage- Tools, Machines	1	250	250		Hand tools, small power tools
	Workshop					
	Fume Hood	1	150	150		
	Welding Area	1	100	100		
	Woodworking	1	325	325		
	Open Work Area	1	500	500		
	Garage					
	Mowers, Snow Removal	1	250	250		(3) mower, (1) skid steer, (5) snow blower
	Facility Fleet vehicles	8	250	2,000		(5) vehicles plus (3) trailers
	County Fleet Vehicles	8	250	2,000		(8) county fleet vehicles
	Flammable Storage	1	20	20		
	Unisex Staff Restroom	2	80	160		
	Sub-Total			6,375		
	Circulation Grossing Factor		20%	1,275		
8	Finance				2,345 sf	
	Reception Counter- Public	1	24	24		
	Public waiting	2	24	48		
	Reception Counter- Staff	1	36	36		8'x8' workstation
	Admin Assistant Workstation	1	64	64		
	Director Office	1	180	180		
	Finance Specialist Office(s)	5	130	650		6-8 persons
	Small Conference Room	1	250	250		
	Active Files	1	120	120		Central county archive area
	Archive Files (off site)	1	120	120		Share with HR, Treasure
	Break/ Kitchen	0.3	220	73		Share with HR, Treasure- (2) Total
	Unisex Staff Restroom	1	60	60		Share with HR, Treasure
	Work / Copy / File	0.3	150	50		
	Sub-Total			1,675		
	Circulation Grossing Factor		40%	670		
9	Human Resources				2,502 sf	
	Public Waiting	4	48	192		4 people (waiting area for staff?)
	Reception Counter- Public	1	24	24		
	Admin Assistant Workstation	1	48	48		8'x6' workstation
	Director Office	1	180	180		Space in office for small table for meetings (3-4)
	HR Specialist Office	1	130	130		(Terri) needs some sound separation
	Conference Room	1	600	600		12-14 persons - new hires, training sessions (table and classroom setting)
	Small Conference Room	1	250	250		6-8 persons; shared
	Active Files	1	120	120		Central county archive area
	Archive Files (off site)	1	120	120		Share with Finance, Treasure
	Break/ Kitchen	0.3	220	73		Share with Finance, Treasure- (2) Total
	Unisex Staff Restroom	0	60	-		Share with Finance, Treasure
	Work / Copy / File	0.3	150	50		
	Sub-Total			1,787		
	Circulation Grossing Factor		40%	715		

	Room/Space	Qty	SF/ Room	Net SF	Totals	Comments
10	IT				927 sf	
	Office	2	156	312		Work table in each office
	Storage Room	1	150	150		
	Server/ Networking Room	1	200	200		
	Sub-Total			662		
	Circulation Grossing Factor		40%	265		
11	Natural Resources/ BOCC				5,592 sf	
	Reception Counter - Public	1	24	24		
	Public waiting	4	48	192		8'x6' workstations
	Reception Counter- Staff (workstations)	1	48	48		
	Work / Copy / File	1	40	40		
	Natural Resource Director Office	1	130	130		
	Commissioners Chambers					8 seats
	Dias	8	90	720		
	Presentation Podium	1	100	100		
	Seating	50	15	750		
	Storage Room	1	100	100		Tables and chairs
	Clerk to the Commission	1	130	130		
	Commissioners Office	4	130	520		
	Executive Session / Conference Room	1	400	400		
	Large Conference Room	1	700	700		ability to divide space
	Kitchenette	1	80	80		Share?
	Unisex Staff Restroom	1	60	60		
	Sub-Total			3,994		
	Circulation Grossing Factor		40%	1,598		
12	Veterans Service				386 sf	
	Waiting	2	48	96		
	Office	1	180	180		Meeting w/ 2 plus storage
	Small Conference Room	0	250	-		Shared in building
	Sub-Total			276		
	Circulation Grossing Factor		40%	110		
13	Weed and Pest				361 sf	ADJACENT TO EXTENSION OFFICE
	Public waiting	1	48	48		Shared w/ CSU Extension
	Office	1	130	130		
	Conference Room	0	400	-		12-14 persons - Shared
	Work / Copy / File	1	80	80		Shared
	Shop	0	-	-		Located at Road & Bridge
	Sub-Total			258		
	Circulation Grossing Factor		40%	103		
14	CSU Extension				5,286 sf	
	Public waiting	8	48	384		plus promotional material
	Reception Counter - Public	1	24	24		
	Reception Counter- Staff (workstations)	1	48	48		8'x6' workstations, shared with weed and pest
	Promotional material	1	40			
	Conference Room	1	400	400		12-14 persons
	Work / Copy / File	1	80	80		
	Coffee Area	1	20	20		Coffee/Microwave/Mini-frig/Sink, share with Weed and Pest
	Office(s)	3	108	324		
	Group Meeting Room	60	15	900		60 persons /4H Ability to access exterior
	Kitchen	1	400	400		Teaching kitchen
	Table and Chair Storage	1	120	120		
	4H Storage	1	200	200		
	Public Restrooms	2	200	400		
	Large Storage Room	1	800	800		
	Unisex Staff Restroom	1	60	60		
	Sub-Total			3,776		
	Circulation Grossing Factor		40%	1,510		
15	Youth Services				2,391 sf	SCREEN PUBLIC

	Room/Space	Qty	SF/ Room	Net SF	Totals	Comments
	Public waiting	8	48	384		Intercom
	Interview / Meeting Rooms	1	200	200		Access from waiting
	Public / UA Restroom	1	80	80		plus storage
	Office	3	108	324		
	Conference Room	1	400	400		
	Break/ Kitchen	1	80	80		Space for food for kids, shared with DHS and CA?
	Storage Room	1	100	100		shared with DHS and CA?
	Unisex Staff Restroom	1	60	60		shared with DHS and CA?
	Work / Copy / File	1	80	80		shared with DHS and CA?
	Sub-Total			1,708		
	Circulation Grossing Factor		40%	683		
16	Treasurer				2,659 sf	
	Reception Counter- Public	3	24	72		
	Public waiting	4	48	192		
	Reception Counter- Staff (workstations)	3	36	108		Part time use
	Staff Workstations- open	3	48	144		8'x6' workstation
	Public Trustee	1	130	130		
	Treasurer Office	1	180	180		
	Small Conference Room	1	250	250		6-8 persons
	Conference Room	1	400	400		12-14 persons (share?)
	Active Files	1	120	120		
	Archive Files (off site)	1	120	120		Central county archive area
	Break/ Kitchen	0.3	220	73		Share with Finance, HR
	Unisex Staff Restroom	1	60	60		Share with Finance, HR- (2) Total
	Work / Copy / File	0.3	150	50		Share with Finance, HR
	Sub-Total			1,899		
	Circulation Grossing Factor		40%	760		

Program Component			
1	Assessor Department		2,561
2	County Attorney		1,915
3	County Clerk & Recorder		4,804
4	Coroner		280
5	Development Services		1,707
6	Department of Human Services		8,128
7	Facilities		7,650
8	Finance		2,345
9	Human Resources		2,502
10	IT		927
11	Natural Resources/ BOCC		5,592
12	Veterans Service		386
13	Weed and Pest		361
14	CSU Extension		5,286
15	Youth Services		2,391
16	Treasurer		2,659
Base Building Subtotals.....			49,495
Unit Gross Subtotals (Net Area)			
Structural Design 'net to gross' factor (.02 x net square feet)			2% 990
Mech/Elec Distribution 'net to gross' factor (.05 x net square feet)			5% 2,475
Multi-floor factor/ Two stairs, Two Elevator (800 square feet)			4 3,200
Building Circ. & Ext. walls: 'net to gross' factor (.07 x net square l			7% 3,465
Gross Area Total (On-Site)			59,625

An aerial photograph of a wide river valley, likely the Grand Canyon of the Yellowstone, showing a winding river, steep cliffs, and distant mountains under a cloudy sky. A semi-transparent blue rectangular box is centered over the image, containing the text 'EXPANSION OPTIONS' and a horizontal line.

EXPANSION OPTIONS

VI.

EXISTING MOFFAT COUNTY COURTHOUSE

ADDITION & RENOVATION

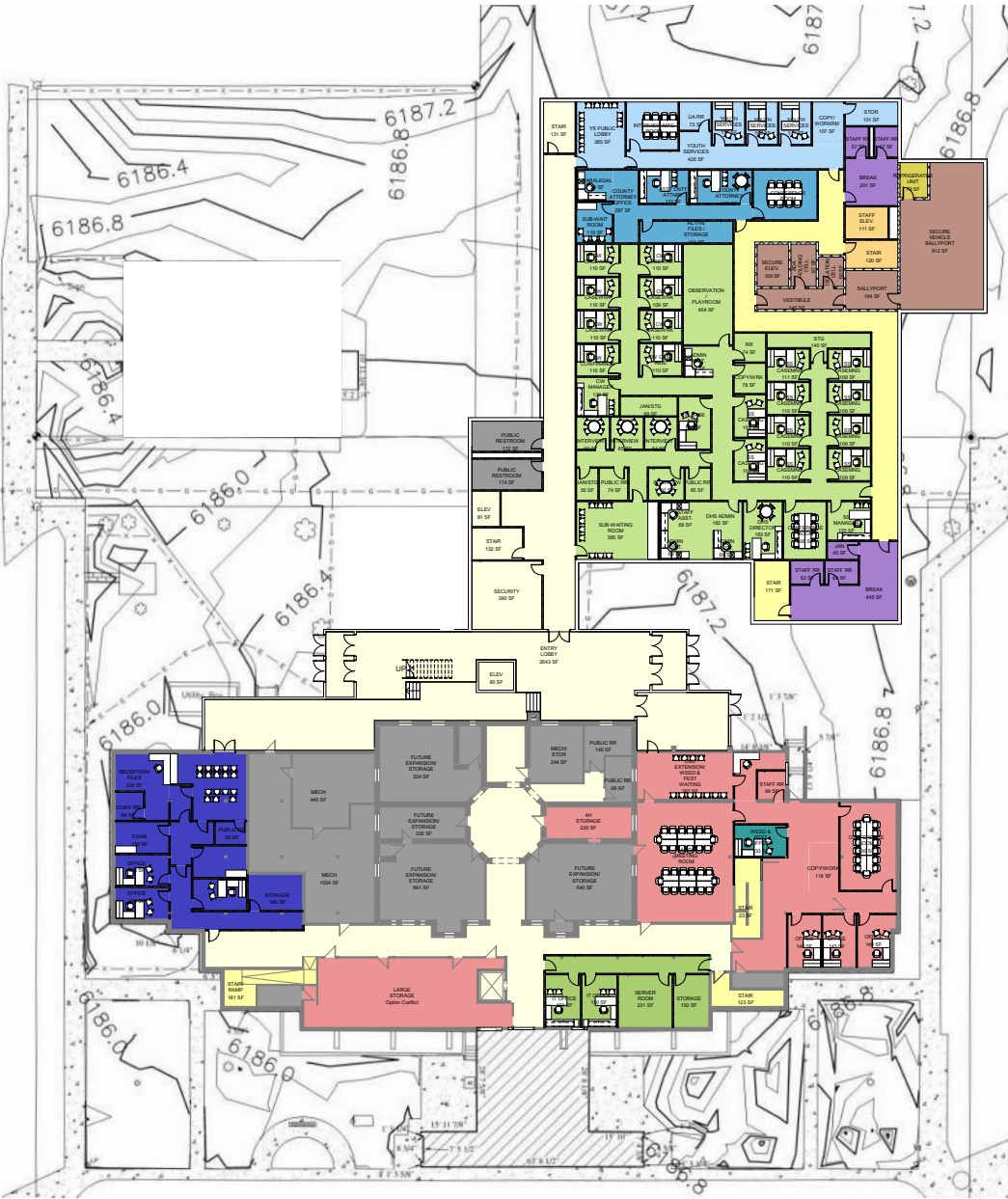
TreanorHL explored two options to provide the needed additional space and consolidate all the courts and County departments into one facility; an option to renovate and add onto the existing courthouse and an option to renovate the former Kmart building.

The existing courthouse option proposes a three-story, approximately 55,000 sf, addition to north of the existing courthouse. The main portion of the addition would house the 14th Judicial District, Probation, District Attorney, County Attorney, Department of Human Services, and Youth Services.

All of the programs areas will be accessed through a security screening area. The existing courthouse would be renovated to house the remaining County departments. A three-story addition would be added directly on the north side of the existing courthouse with a new public stair and elevator providing access to the existing courthouse. A one-story link would connect the two three-story additions. The west end of the link would be the main public entry with a secondary public entry on the east side.

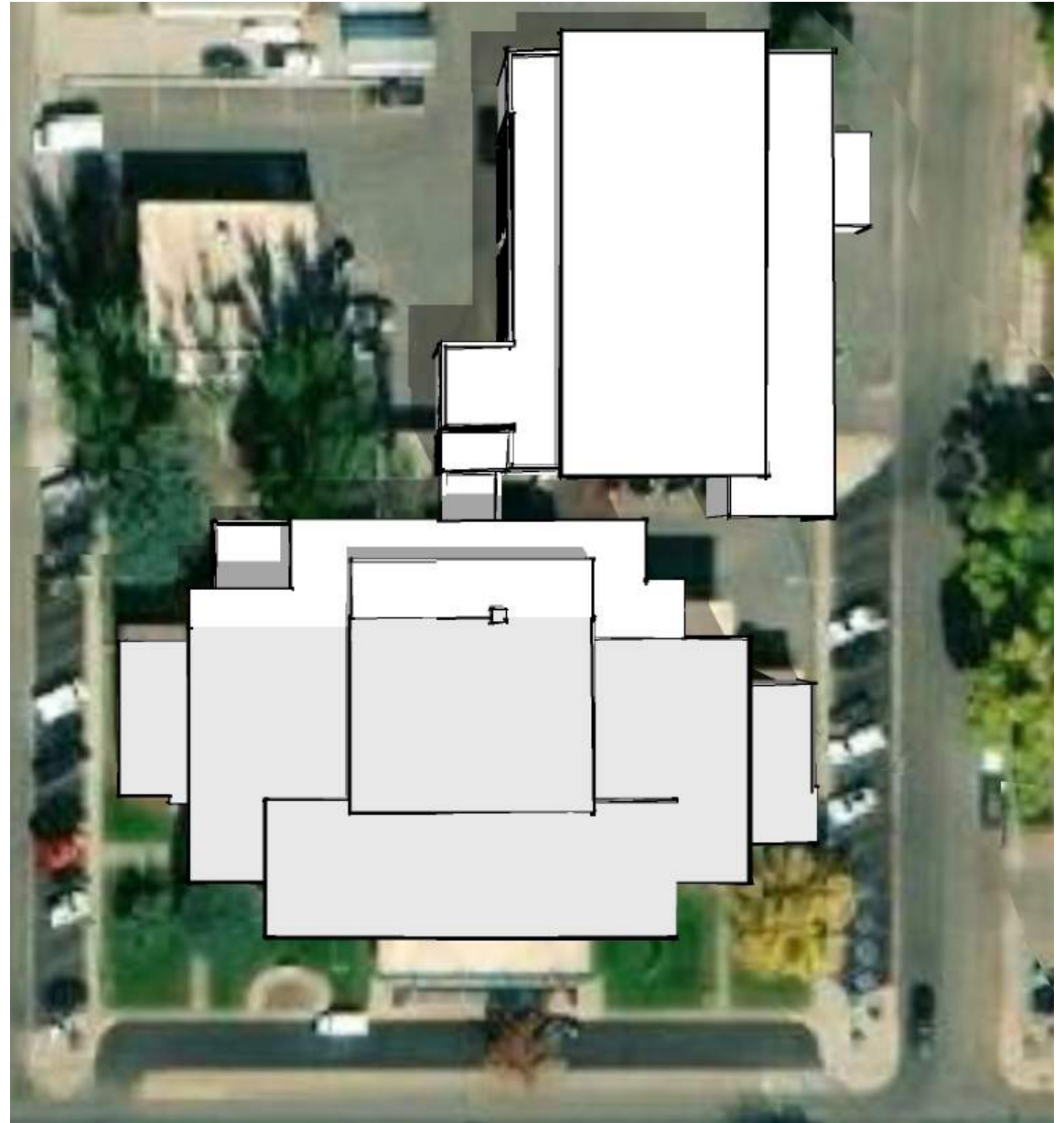
These would be the only two public entries to the entire building, eliminating the many access points of the existing courthouse.

A security check point would be located in the one-story link with a baggage scanner and metal detector to screen those going to the Courts and other departments noted above. The new circulation between the existing courthouse and the new addition can also provide a single point of entry and security screening if this is a future requirement.



LEVEL 1







Aerial View



View of new East Entry

FORMER K MART BUILDING RENOVATION

The existing building interior is proposed to be stripped down to the structure and the existing entry vestibule on the North will be removed. A new public entry is proposed to be constructed on the north side of the building. The main drive in front of the building will be shifted to the north to create more space between the drive and the building allowing for an open entry plaza and allowing space to integrate security barriers such as large stones or seat walls to provide a vehicle barrier.

The new drive location will also move the drive out of the winter shadow zone assisting with snow and ice melt.

The building is organized with the court functions, District Attorney, Probation, Department of Human Services, Youth Services, and County Attorney on the east half of the building with the remaining county departments in the west half of the building. In the new public entry, a security checkpoint will be provided with a baggage scanner and metal detector to screen all those going to the departments on the east side of the building. The departments on each side are arranged along a wide public corridor with sub-waiting rooms off the public corridor.



CSU Entrance on West Elevation-Base Bid

All county departments will have access to a secure staff zone that contains shared restrooms, copy, storage, and break areas with adjacent outdoor courtyard spaces. The outdoor courtyard spaces would allow access to the outdoors by staff during the day and bring in additional natural light to the interior of the building.

A new 11,300 sf pre-engineered metal building is proposed to be constructed on the site to house Facilities work areas and all Facilities and County fleet vehicles.



Aerial View- Base Bid



Aerial View - Base Bid with Add Alternates



Floor Plan-Base Bid



Floor Plan-Base Bid with Add Alternates

ESTIMATED PROJECT COSTS

The estimate of project costs is a preliminary review of the potential construction costs and project “soft” costs based upon the outline scopes of work for each building. The construction cost estimate is an “Order of Magnitude Estimate” and is based upon historical project data from similar projects in the Moffat County area.

The construction market in 2020 has been impacted by the current health pandemic and has added uncertainty. While the overall construction market has seen a reduction in cost escalation and favorable bid markets, these savings do not fully translate to a more remote mountain community.

The smaller sub-contractor pool combined with a strong construction market in neighboring and nearby counties fuels a higher cost per square foot than other areas.

These estimates are divided into two components: construction costs and project “soft” costs. The construction costs are an estimate of the costs to construct the project. The estimate includes the direct costs by material division and the associated indirect costs to a contractor. The indirect costs include an estimate contingency, insurance, bonds and overhead and profit.

The project “soft” costs are those expenses associated with the project above the construction costs. These include the design professional fees, site survey, hazardous material abatement, printing, construction testing, furniture/fixtures/equipment, and an owner’s contingency. Together this provides the overall project estimate.

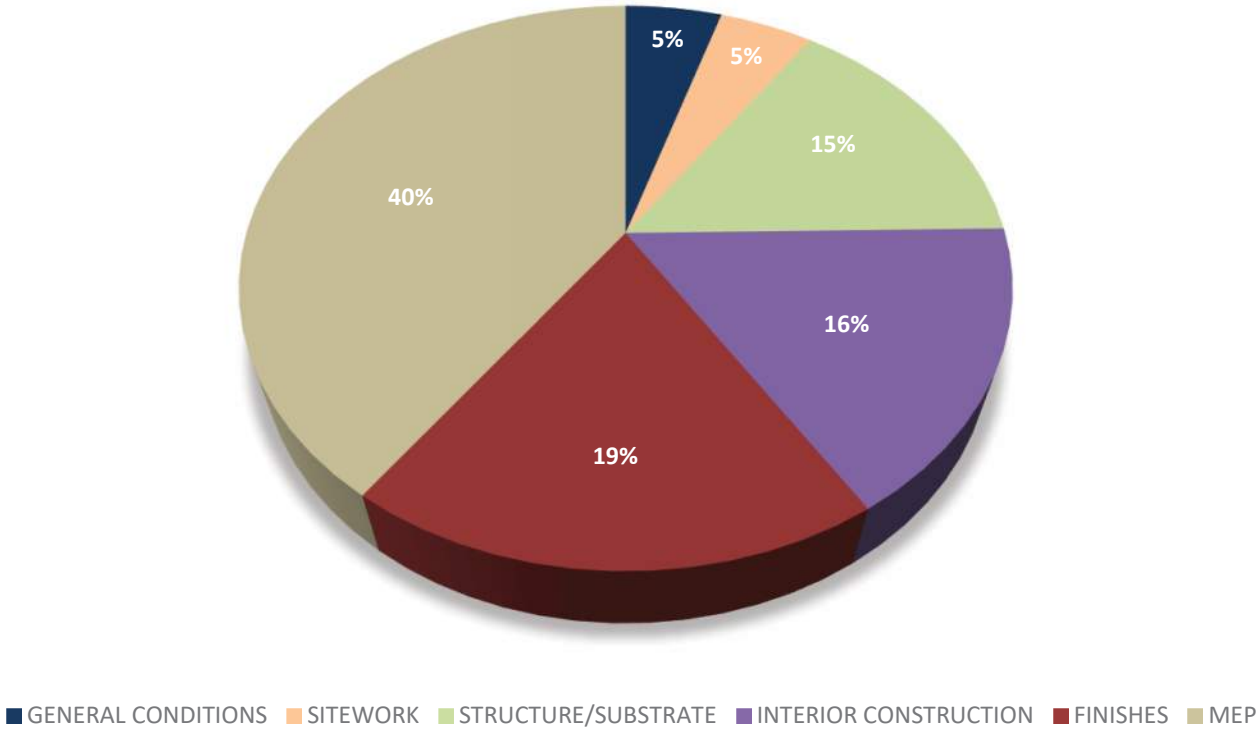
The estimate is based upon 2020 dollars and costs may adjust for future years based upon market condition.

EXISTING COURTHOUSE

The estimate includes appropriately 51,000 gsf of existing space to be remodeled and 56,000 gsf of new construction.

Construction Cost	SF	\$/sf	Sub-total
Site Developement			\$ 1,294,674
Building Addition	56,012	\$452	\$25,343,287
Renovation	50,865	\$292	\$14,856,320
TOTAL			\$41,494,281
Project "soft" Costs			\$ 4,012,542
TOTAL PROJECT COSTS			\$45,506,823

EXISTING COURTHOUSE SITE OPTION



MART SITE OPTION

MOFFAT COUNTY, CO			
Courthouse Feasibility Study			
Summary of Costs - Existing Courthouse Renovation & Addition			
2020 Dollars			
	Square Footage	Average \$/SF	Total
CONSTRUCTION COSTS			
Site Development			\$ 1,294,674
Building Addition	56,012	\$ 452	\$ 25,343,287
Renovation	50,864	\$ 292	\$ 14,856,320
TOTAL BASE BID	106,876	\$ 388	\$ 41,494,281
SOFT COSTS			
Site Acquisition		Not applicable	
Off Site Utilities		TBD	\$ -
Street Improvements		TBD	\$ -
Building permit		*Waiver?	\$ 130,000
Development Fees		Not applicable	
Environmental Phase I		Not applicable	
Design Fees	8.0%	of construction	\$ 3,319,542
Civil and Landscape		Included in Design Fees	
Kitchen Consultant		Included in Design Fees	
Technology Design		Included in Design Fees	
Security Electronics Design		Included in Design Fees	
Reimbursables/Other			\$ 10,000
Survey			\$ 8,000
Soils Report			\$ 10,000
Construction Testing			\$ 500,000
Printing			\$ -
Furniture and Equipment		TBD	\$ -
Telephone/Data		Conduit/Cable in Construction Costs	
Audio/Visual (County Departments)			\$ 35,000
Audio/Visual (Court)			\$ -
Builders Risk/Insurance		Included in construction costs	
Commissioning			\$ -
Moving Expenses		TBD	\$ -
Bond/Finanical Fees		Included in construction costs	
Owner Contingency			\$ -
SOFT COST TOTALS			\$ 4,012,542
TOTAL PROJECT COSTS			\$ 45,506,823

FCI Constructors, Inc.

Date:

July 24, 2020

Project:

MOFFAT COUNTY COURTS & COUNTY SERVICES

MOFFAT COUNTY

CRAIG, CO

CONCEPTUAL PROGRAMMATIC COST MODEL

EXISTING COURTHOUSE SITE OPTION

	NEW CONSTR. RENOVATION 56,012		NEW CONSTR. RENOVATION 50,864		NEW CONSTR. RENOVATION 56,012		NEW CONSTR. RENOVATION 56,012		
	COURTS BUILDING ADDN		EXISTING BUILDING REMODEL		SITE DEVELOPMENT		TOTALS		
DESCRIPTION	TOTAL SF	56,012	TOTAL SF	50,864	TOTAL SF	106,876	TOTAL SF	106,876	NOTES
	TOTAL COST	COST/SF	TOTAL COST	COST/SF	TOTAL COST	COST/SF	TOTAL COST	COST/SF	
100000 GENERAL CONDITIONS	\$ 1,056,000	\$ 18.85	\$ 550,000	\$ 10.81	\$ 140,000	\$ 2.75	\$ 1,746,000	\$ 16.34	
310000 SITE WORK	\$ -	\$ -	\$ -	\$ -	\$ 810,000	\$ 15.92	\$ 810,000	\$ 7.58	
020000 SITEWORK - EXISTING CONDITONS	\$ -	\$ -	\$ 501,060	\$ 9.85	\$ -	\$ -	\$ 501,060	\$ 4.69	
020000 SITEWORK - BUILDING	\$ 354,932	\$ 6.34	\$ 35,000	\$ 0.69	\$ -	\$ -	\$ 389,932	\$ 3.65	BLDG PAD PREP
020000 SITEWORK - DEEP FOUNDATIONS	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
030000 CONCRETE	\$ 1,192,712	\$ 21.29	\$ 387,405	\$ 7.62	\$ -	\$ -	\$ 1,580,117	\$ 14.78	
040000 MASONRY	\$ 1,214,352	\$ 21.68	\$ 100,000	\$ 1.97	\$ -	\$ -	\$ 1,314,352	\$ 12.30	
050000 METALS	\$ 1,604,868	\$ 28.65	\$ 940,984	\$ 18.50	\$ -	\$ -	\$ 2,545,852	\$ 23.82	
060000 WOOD & PLASTICS	\$ 904,182	\$ 16.14	\$ 438,825	\$ 8.63	\$ -	\$ -	\$ 1,343,007	\$ 12.57	
070000 THERMAL & MOISTURE PROTECTION	\$ 1,509,675	\$ 26.95	\$ 644,047	\$ 12.66	\$ -	\$ -	\$ 2,153,723	\$ 20.15	
080000 DOORS & WINDOWS	\$ 1,610,855	\$ 28.76	\$ 757,629	\$ 14.90	\$ -	\$ -	\$ 2,368,484	\$ 22.16	
090000 FINISHES	\$ 3,327,080	\$ 59.40	\$ 1,986,857	\$ 39.06	\$ -	\$ -	\$ 5,313,937	\$ 49.72	
100000 SPECIALTIES	\$ 212,846	\$ 3.80	\$ 152,592	\$ 3.00	\$ -	\$ -	\$ 365,438	\$ 3.42	
110000 EQUIPMENT	\$ 36,503	\$ 0.65	\$ 35,216	\$ 0.69	\$ -	\$ -	\$ 71,719	\$ 0.67	
120000 FURNISHINGS	\$ 306,904	\$ 5.48	\$ 127,247	\$ 2.50	\$ -	\$ -	\$ 434,151	\$ 4.06	
130000 SPECIAL CONSTRUCTION	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
140000 CONVEYING SYSTEMS	\$ 485,000	\$ 8.66	\$ 100,000	\$ 1.97	\$ -	\$ -	\$ 585,000	\$ 5.47	
210000 FIRE PROTECTION	\$ 221,247	\$ 3.95	\$ 216,172	\$ 4.25	\$ -	\$ -	\$ 437,419	\$ 4.09	
230000 PLUMBING	\$ 1,232,264	\$ 22.00	\$ 762,960	\$ 15.00	\$ -	\$ -	\$ 1,995,224	\$ 18.67	
250000 HVAC	\$ 2,912,624	\$ 52.00	\$ 2,848,384	\$ 56.00	\$ -	\$ -	\$ 5,761,008	\$ 53.90	
260000 ELECTRICAL	\$ 3,013,576	\$ 53.80	\$ 1,906,104	\$ 37.47	\$ -	\$ -	\$ 4,919,680	\$ 46.03	
27/280000 LV SPECIAL SYSTEMS	\$ 858,682	\$ 15.33	\$ 434,887	\$ 8.55	\$ -	\$ -	\$ 1,293,569	\$ 12.10	
SUBTOTAL - DIRECT COST	\$ 22,054,301	\$ 393.74	\$ 12,925,370	\$ 254.12	\$ 950,000	\$ 18.68	\$ 35,929,672	\$ 336.18	
CONTINGENCY	\$ 1,764,344	\$ 31.50	\$ 1,034,030	\$ 20.33	\$ 76,000	\$ 1.49	\$ 2,874,374	\$ 26.89	8.00%
BUILDERS RISK INSURANCE	\$ 16,230	\$ 0.29	\$ 6,538	\$ 0.13	\$ 11,000	\$ 0.22	\$ 33,769	\$ 0.32	
GENERAL LIABILITY INSURANCE	\$ 190,200	\$ 3.40	\$ 111,450	\$ 2.19	\$ 187,500	\$ 3.69	\$ 489,150	\$ 4.58	0.75%
PROPERTY SURVEY	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
SOILS INVESTIGATION/GEOTECHNICAL ENGINEERING	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
MATERIALS TESTING / INSPECTION	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
PLANNING APPLICATIONS/PERMIT/PLAN REVIEW FEES	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
BUILDING PERMIT	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
ARCHITECTURAL DESIGN & ENGINEERING (C/S/M&E)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
PAYMENT/PERFORMANCE BONDS	\$ 111,388	\$ 1.99	\$ 71,488	\$ 1.41	\$ 8,523	\$ 0.17	\$ 191,399	\$ 1.79	1-YEAR WARRANTY
CONSTRUCTION PHASE OVERHEAD & FEE	\$ 1,206,823	\$ 21.55	\$ 707,444	\$ 13.91	\$ 61,651	\$ 1.21	\$ 1,975,918	\$ 18.49	5.00%
SUB-TOTAL ESTIMATED CONSTRUCTION COST	\$ 25,343,287	\$ 452.46	\$ 14,856,320	\$ 292.08	\$ 1,294,674	\$ 25.45	\$ 41,494,281	\$ 388.25	

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 56,012.00

DESCRIPTION		QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
BUILDING ADDITION							
0500000 - METALS							
STRUCTURAL STEEL- ERECTION		30.00	DY	\$ 6,150.00	\$	184,500	
METAL FLOOR DECKING - 2"/18 GAGE		39,608.80	SF	\$ 2.80	\$	110,905	
METAL ROOF DECKING - 2"/18 GAGE		22,004.40	SF	\$ 2.60	\$	57,211	
CANOPY FRAMING-ALLOW		480.00	SF	\$ 45.00	\$	21,600	FRAMING & DECK
STEEL PAN STAIRS- LOBBY		56.00	RI	\$ 850.00	\$	47,600	
STEEL PAN STAIRS- EGRESS		252.00	RI	\$ 685.00	\$	172,620	
MISC METALS		56,012.00	SF	\$ 3.75	\$	210,045	
BUILDING EXPANSION JOINTS		513.00	LF	\$ 120.00	\$	61,560	FLOORS
BUILDING EXPANSION JOINTS		200.00	LF	\$ 85.00	\$	17,000	EXTER WALLS
SUBTOTAL- 050000 METALS					\$	1,604,868	\$ 28.65
0600000 - WOOD & PLASTICS							
PERIMETER ROOF BLOCKING-TREATED 2X		2,456.00	LF	\$ 4.50	\$	11,052	
PERIMETER COPING NAILERS/SHIMS		997.00	LF	\$ 6.50	\$	6,481	
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS		1,994.00	SF	\$ 1.90	\$	3,789	
MISC BLOCKING/NAILERS-INTERIOR		56,012.00	SF	\$ 0.55	\$	30,807	
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK		56,012.00	EA	\$ 4.50	\$	252,054	GENERAL MW ALLOWANCE
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK		3.00	EA	\$ 150,000.00	\$	450,000	COURTROOMS/JUDGES CHAMB
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK		1.00	EA	\$ 150,000.00	\$	150,000	COMMISSION CHAMBERS
SUBTOTAL- 060000 WOOD & PLASTICS					\$	904,182	\$ 16.14
0700000 - THERMAL & MOISTURE PROTECTION							
FOUNDATION INSULATION-2" TH RIGID		1,564.00	SF	\$ 2.80	\$	4,379	
PERIMETER FDN DAMPPROOFING		1,564.00	SF	\$ 2.10	\$	3,284	
HORIZONTAL DECK WATERPROOFING SYSTEM-ROOF TERRACE		-	SF	\$ 16.00	\$	-	N/A-EXCLUDED
BUILDING INSULATION-TO EXTER WALLS		38,080.00	SF	\$ 2.00	\$	76,160	2" SPRAY-FOAM
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH		38,080.00	SF	\$ 5.25	\$	199,920	
METAL WALL PANELS-ACM -4MM TH		-	SF	\$ 55.00	\$	-	EXTERIOR WALLS- 20%
METAL WALL PANELS- HVAC EQUIP SCREENWALL		-	SF	\$ 16.00	\$	-	N/A-EXCLUDED
STUCCO PLASTER WALL VENEER		31,312.00	SF	\$ 17.00	\$	532,304	EXTERIOR WALLS- 50%
STUCCO VENEER PLASTER SOFFITS		480.00	SF	\$ 15.10	\$	7,248	CANOPY SOFFITS
MEMBRANE ROOFING- 60 MIL EPDM		20,000.00	SF	\$ 22.00	\$	440,000	MAIN UPPER ROOF
MEMBRANE ROOFING- 60 MIL EPDM		480.00	SF	\$ 24.00	\$	11,520	CANOPY ROOFS
PEDESTAL MOUNTED ROOF PAVERS-ROOF TERRACE		-	SF	\$ 36.00	\$	-	N/A-EXCLUDED
ROOF MOUNTED SKYLIGHTS		-	EA	\$ 1,525.00	\$	-	N/A-EXCLUDED
ROOF ACCESS HATCH		1.00	EA	\$ 2,410.00	\$	2,410	
APPLIED FIREPROOFING		56,012.00	SF	\$ 3.55	\$	198,843	
CAULKING & SEALANTS		56,012.00	SF	\$ 0.60	\$	33,607	
SUBTOTAL- 070000 THERMAL & MOISTURE PROTECTION					\$	1,509,675	\$ 26.95
0800000 - DOORS & WINDOWS							
DOORS/FRAMES/HW-INTERIOR		185.00	EA	\$ 2,050.00	\$	379,250	
DOORS/FRAMES/HW-EXTERIOR		6.00	EA	\$ 2,350.00	\$	14,100	
DOORS/FRAMES/HW-INTERIOR		12.00	EA	\$ 3,500.00	\$	42,000	ADD FOR SECURITY RATED
OVERHEAD DOORS- COILING/INSUL/MOTOR OP		2.00	EA	\$ 12,000.00	\$	24,000	HIGH SPEED COILING DOORS
MISC INTERIOR WINDOWS/GLAZING		56,012.00	SF	\$ 0.55	\$	30,807	
ALUM STOREFRONTS/WINDOWS-FIXED		11,424.00	SF	\$ 56.00	\$	639,744	30% OF EXTER WALL AREA
ALUM CURTAINWALL SYSTEM		3,808.00	SF	\$ 88.00	\$	335,104	10% OF EXTER WALL AREA
DOORS/FRAMES/HW-STOREFRONTS		8.00	EA	\$ 3,400.00	\$	27,200	EXTERIOR ENTRIES
AUTO DOOR OPERATORS		3.00	EA	\$ 1,550.00	\$	4,650	MAIN

MOFFATT COUNTY COURTS & COUNTY SERVICES
MOFFATT COUNTY
CRAIG, CO

24-Jul-20

FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BSGF
56,012.00

DESCRIPTION			QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
BUILDING ADDITION									
DIVISION 210000 - FIRE SUPPRESSION SYSTEMS									
FIRE SPRINKLERS- WET PIPE			56,012.00	SF	\$ 3.95		\$ 221,247		
FIRE SPRINKLERS- IN RACK SYSTEM			-	SF	\$ -		\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- DRY TYPE			-	SF	\$ -		\$ -		N/A-EXCLUDED
FIRE SUPPRESSION SYSTEM- CLEAN AGENT			-	SF	\$ -		\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- FIRE/JOCKEY PUMP			-	LS	\$ -		\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- WATER STORAGE TANK			-	LS	\$ -		\$ -		N/A-EXCLUDED
SUBTOTAL: 210000 FIRE SUPPRESSION SYSTEMS							\$ 221,247	\$ 3.95	
DIVISION 230000 PLUMBING SYSTEMS									
PLUMBING EQUIPMENT			56,012.00	SF	\$ 22.00		\$ 1,232,264		
DOMESTIC WATER			56,012.00	SF			INCLUDED		
STORM / ROOF DRAINAGE			56,012.00	SF	\$ -		INCLUDED		
SANITARY SEWER-UG			56,012.00	SF			INCLUDED		
WASTE & VENT- ABOVE GRADE			56,012.00	SF			INCLUDED		
NAT GAS PIPING			56,012.00	SF			INCLUDED		
FIXTURES			56,012.00	SF			INCLUDED		
PLUMBING INSULATION			56,012.00	SF			INCLUDED		
SUBTOTAL: PLUMBING SYSTEMS							\$ 1,232,264	\$ 22.00	
DIVISION 24 HVAC SYSTEMS									
HVAC SYSTEM- ROOF TOP PACKAGE SYS			56,012.00	SF	\$ 52.00		\$ 2,912,624		
EQUIPMENT			56,012.00	SF			INCLUDED		
DUCTWORK & ACCESSORIES			56,012.00	SF			INCLUDED		
HVAC HYDRONIC PIPING SYS			56,012.00	SF	\$ -		INCLUDED		
HVAC INSULATION			56,012.00	SF			INCLUDED		
HVAC CONTROLS			56,012.00	SF			INCLUDED		
TEST & BALANCE			56,012.00	SF			INCLUDED		
GEO THERMAL WELL FIELD			-	LS	\$ -		INCLUDED		N/A-EXCLUDED
SUBTOTAL: HVAC SYSTEMS							\$ 2,912,624	\$ 52.00	
DIVISION 260000 ELECTRICAL SYSTEMS									
ELECTRICAL WORK			56,012.00	SF	\$ 48.00		\$ 2,688,576		
EQUIPMENT- SECONDARY			56,012.00	SF	\$ -		INCLUDED		
SITE ELECTRICAL-LIGHTING/POWER			1.00	LS	\$ 100,000.00		\$ 100,000		
EMERGENCY GENERATOR			1.00	LS	\$ 75,000.00		\$ 75,000		
POWER DISTRIBUTION			56,012.00	SF	\$ -		INCLUDED		
LIGHTING & CONTROLS			56,012.00	SF	\$ -		INCLUDED		
FIRE ALARM SYSTEM			56,012.00	SF	\$ -		INCLUDED		
SECURITY ELECTRONICS			1.00	LS	\$ 150,000.00		\$ 150,000		
DATA/COMMUNICATIONS-ROUGH IN			56,012.00	SF	\$ -		INCLUDED		
ACCESS CONTROL-ROUGH IN			56,012.00	SF	\$ -		INCLUDED		
SECURITY SYS-ROUGH IN			56,012.00	SF	\$ -		INCLUDED		
AV SYSTEM-ROUGH IN			56,012.00	SF	\$ -		\$ -		N/A-EXCLUDED
SUBTOTAL: ELECTRICAL SYSTEMS							\$ 3,013,576	\$ 53.80	
DIVISION 270000 SPECIAL/LV SYSTEMS									
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP			56,012.00	SF	\$ 3.45		\$ 193,241		
AV SYSTEM-WIRING/DEVICES/EQUIPMENT			3.00	EA	\$ 75,000.00		\$ 225,000		COURTROOMS
AV SYSTEM-WIRING/DEVICES/EQUIPMENT			1.00	EA	\$ 75,000.00		\$ 75,000		COMMISSIONER CHAMBERS
AV SYSTEM-WIRING/DEVICES/EQUIPMENT			7.00	EA	\$ 25,000.00		\$ 175,000		CONF/TRAINING RMS
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP			56,012.00	SF	\$ 1.10		\$ 61,613		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT			56,012.00	SF	\$ 2.30		\$ 128,828		
SUBTOTAL: SPECIAL/LV SYSTEMS							\$ 858,682	\$ 15.33	

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 50,864.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
EXISTING COURTS BUILDING REMODEL						
020000 - SITEWORK-EXISTING CONDITONS						
INTERIOR DEMOLITION*****	-	LS	\$ -	\$ -		
REMOVE FLOORING/WALLS/CLGS	50,864.00	SF	\$ 6.00	\$ 305,184		
REMOVE DOORS/FRAMES/MILLWORK	50,864.00	SF	\$ 0.55	\$ 27,975		
MISC INTERIOR REMOVALS-MEP WORK	50,864.00	SF	\$ 1.75	\$ 89,012		
MISC INTERIOR REMOVALS	50,864.00	SF	\$ 0.45	\$ 22,889		
SAWCUT/REMOVE EXISTING SLABS	500.00	SF	\$ 12.00	\$ 6,000		NEW U/G PLUMBING
EXTERIOR DEMOLITION*****	-	LS	\$ -	\$ -		
REMOVE EXTERIOR WINDOWS/GLAZING	1.00	LS	\$ 35,000.00	\$ 35,000		
CUT NEW OPENINGS IN EX MASONRY WALLS	1.00	LS	\$ 15,000.00	\$ 15,000		
SUBTOTAL: 020000 SITEWORK-EXISTING CONDITONS				\$ 501,060	\$ 9.85	
020000 - SITEWORK-BUILDING						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISC EXCAV/BF FOR STRUCTURAL IMPROVMENTS	1.00	LS	\$ 35,000.00	\$ 35,000		
SUBTOTAL: 020000 SITEWORK-BUILDING				\$ 35,000	\$ 0.69	
022400 - DEEP FOUNDATIONS						
HELICAL PILES- MOBILIZE/DEMOR	-	DY	\$ 4,500.00	\$ -		
HELICAL PILES- 50 FT BID LENGTH	-	LF	\$ 1,650.00	\$ -		N/A-EXCLUDED
PILE TESTING	-	LS	\$ 5,000.00	\$ -		
LAYOUT	-	HRS	\$ 72.00	\$ -		
SUBTOTAL: 022400 DEEP FOUNDATIONS				\$ -	\$ -	
030000 - CONCRETE						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
SLAB ON GRADE-4" TH-PATCH BACK	500.00	SF	\$ 11.85	\$ 5,925		NEW U/G PLUMBING
MISC CONCRETE REPAIRS/UPGRADES	50,864.00	SF	\$ 7.50	\$ 381,480		CODE COMPLIANCE UPGRADES
SUBTOTAL: 030000 CONCRETE				\$ 387,405	\$ 7.62	
040000 - MASONRY & STONE WORK						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
EXTERIOR WALLS- REPOINT EXISTING BRICK-1962 & 1918 BLDGS	1.00	SF	\$ 65,000.00	\$ 65,000		ALLOW
CUT/PATCH- NEW OPENINGS IN EXISTING INTERIOR I-B MASONRY WALLS-1918 BLDG	1.00	LS	\$ 35,000.00	\$ 35,000		ALLOW
SUBTOTAL: 040000 MASONRY				\$ 100,000	\$ 1.97	
050000 - METALS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISC STRUCTURAL REINF/UPGRADES/MODIFICATIONS	50,864.00	SF	\$ 15.00	\$ 762,960		CODE COMPLIANCE UPGRADES
MISC METALS	50,864.00	SF	\$ 3.50	\$ 178,024		
SUBTOTAL: 050000 METALS				\$ 940,984	\$ 18.50	
060000 - WOOD & PLASTICS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	3,568.00	LF	\$ 4.85	\$ 17,305		
PERIMETER COPING NAILERS/SHIMS	1,238.00	LF	\$ 8.00	\$ 9,904		
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	2,476.00	SF	\$ 1.90	\$ 4,704		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	50,864.00	SF	\$ 8.00	\$ 406,912		GENERAL MW ALLOWANCE
SUBTOTAL: 060000 WOOD & PLASTICS				\$ 438,825	\$ 8.63	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 50,864.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
EXISTING COURTS BUILDING-REMODEL						
070000 - THERMAL & MOISTURE PROTECTION						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
BUILDING INSULATION-TO EXTER WALLS	17,928.85	SF	\$ 4.20	\$ 75,301		3" SPRAY FOAM-STUD CAVITIES
METAL WALL PANELS- HVAC EQUIP SCREENWALL	-	SF	\$ 24.00	\$ -		N/A-EXCLUDED
ROOFING- TEAR-OFF EXISTING	22,882.00	SF	\$ 1.75	\$ 40,044		
MEMBRANE ROOFING- 60 MIL TPO- W/INSUL FLASHINGS/TRIM	22,882.00	SF	\$ 22.00	\$ 503,404		ROOF REPLACEMENT
ROOF MOUNTED SKYLIGHTS	-	EA	\$ 1,525.00	\$ -		N/A-EXCLUDED
ROOF ACCESS HATCH	1.00	EA	\$ 2,410.00	\$ 2,410		
APPLIED FIREPROOFING	-	SF	\$ -	\$ -		N/A-EXCLUDED
CAULKING & SEALANTS	50,864.00	SF	\$ 0.45	\$ 22,889		
SUBTOTAL- 070000 THERMAL & MOISTURE PROTECTION				\$ 644,047	\$ 12.66	
080000 - DOORS & WINDOWS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
DOORS/FRAMES/HW-INTERIOR	170.00	EA	\$ 2,050.00	\$ 348,500		
DOORS/FRAMES/HW-EXTERIOR	4.00	EA	\$ 2,350.00	\$ 9,400		
DOORS/FRAMES/HW-INTERIOR	-	EA	\$ 3,500.00	\$ -		N/A- SEE ADDITION
MISC INTERIOR WINDOWS/GLAZING	50,864.00	SF	\$ 0.55	\$ 27,975		
ALUM STOREFRONTS/ WINDOWS-FIXED	5,916.52	SF	\$ 58.00	\$ 343,158		
ALUM STOREFRONTS-FIXED	146.60	SF	\$ 60.00	\$ 8,796		ENTRIES
DOORS/FRAMES/HW-STOREFRONTS	4.00	EA	\$ 3,400.00	\$ 13,600		EXTERIOR ENTRIES
AUTO DOOR OPERATORS	4.00	EA	\$ 1,550.00	\$ 6,200		MAIN ENTRY
ALUM LOUVERED SUNSHADES- WALL MTD-FIXED	-	LF	\$ 190.00	\$ -		N/A-EXCLUDED
SUBTOTAL- 080000 DOORS & WINDOWS				\$ 757,629	\$ 14.90	
090000 - FINISHES						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
EXTERIOR WALLS- FURRING 3 5/8" FRAMING + GYP BOARD	17,928.85	SF	\$ 7.35	\$ 131,777		
CANOPY SOFFIT /FASCIA FRAMING & SHEATHING	1,332.00	SF	\$ 18.00	\$ 23,976		ENTRY SOFFITS
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	50,864.00	SF	\$ 36.00	\$ 1,831,104		
SUBTOTAL- 090000 FINISHES				\$ 1,986,857	\$ 39.06	
DIVISION 100000 - SPECIALTIES						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISCELLANEOUS SPECIALTIES	50,864.00	SF	\$ 3.00	\$ 152,592		
VISUAL DISPLAY SURFACES	50,864.00	SF	\$ -			INCLUDED
TOILET PTNS/TOILET ACCESSORIES	50,864.00	SF	\$ -			INCLUDED
WALL & CORNER PROTECTION	50,864.00	SF	\$ -			INCLUDED
FIRE PROTECTION CABINETS/EXTINGUISHERS	50,864.00	SF	\$ -			INCLUDED
ROOM ID SIGNAGE/WAYFINDING	50,864.00	SF	\$ -			INCLUDED
LOCKERS	50,864.00	SF	\$ -			INCLUDED
STORAGE SHELIVING	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 100000 SPECIALTIES				\$ 152,592	\$ 3.00	
DIVISION 110000 - EQUIPMENT						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	50,864.00	SF	\$ 0.25	\$ 12,716		
RESIDENTIAL APPLIANCES	5.00	EA	\$ 4,500.00	\$ 22,500		EMPL BREAK/COFFEE RMS
FOOD SERVICE EQUIPMENT-COMMERCIAL	-	LS	\$ -	\$ -		N/A-EXCLUDED
LAUNDRY EQUIPMENT	-	LS	\$ -	\$ -		N/A-EXCLUDED
MEDICAL EQUIPMENT	-	LS	\$ -	\$ -		N/A-OWNER FF & E
AV EQUIPMENT-	-	LS	\$ -	\$ -		N/A-OWNER FF & E
FACILITY MAINT EQUIPMENT	-	LS	\$ -	\$ -		N/A-OWNER FF & E
LOADING DOCK EQUIPMENT	-	LS	\$ -	\$ -		N/A-EXCLUDED
SECURITY EQUIPMENT- XRAY MACHINES/MAGNETOMETER	-	LS	\$ -	\$ -		N/A-OWNER FF & E
SUBTOTAL- 110000 EQUIPMENT				\$ 35,216	\$ 0.69	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 50,864.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
EXISTING COURTS BUILDING-REMODEL						
DIVISION 120000 - FURNISHINGS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS	1.00	LS	\$ 3,000.00	\$ 3,000		
WINDOW TREATMENTS-ROLLER SHADES/BLINDS	5,916.52	SF	\$ 21.00	\$ 124,247		
LOOSE FURNITURE FIXTURES & EQUIPMENT	-	LS	\$ -	\$ -		N/A-OWNER FF & E
DEFTENTATION FURNISHINGS & EQUIPMENT	-	LS	\$ -	\$ -		N/A-SEE ADDITION
SUBTOTAL- 120000 FURNISHINGS				\$ 127,247	\$ 2.50	
DIVISION 130000 - SPECIAL CONSTRUCTION						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
PRE-ENGINEERED METAL BUILDING PACKAGE	-	SF	\$ -	\$ -		N/A-EXCLUDED
X-RAY PROTECTION	-	SF	\$ -	\$ -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 130000 SPECIAL CONSTRUCTION				\$ -	\$ -	
DIVISION 140000 - CONVEYING SYSTEMS						
HYDRAULIC ELEVATOR-2 STOP	1.00	EA	\$ 100,000.00	\$ 100,000		REPLACE EXISTING UNIT
HC WHEEL CHAIR LIFT	-	EA	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 140000 CONVEYING SYSTEMS				\$ 100,000	\$ 1.97	
DIVISION 210000 - FIRE SUPPRESSION SYSTEMS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
FIRE SPRINKLERS- WET PIPE	50,864.00	SF	\$ 4.25	\$ 216,172		
FIRE SPRINKLERS- DRY TYPE	-	SF	\$ -	\$ -		N/A-EXCLUDED
FIRE SUPPRESSION SYSTEM- CLEAN AGENT	-	LS	\$ 45,000.00	\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- IN RACK SYSTEM	-	SF	\$ -	\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- FIRE/JOCKEY PUMP	-	LS	\$ -	\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- WATER STORAGE TANK	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 210000 FIRE SUPPRESSION SYSTEMS				\$ 216,172	\$ 4.25	
DIVISION 230000 PLUMBING SYSTEMS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
PLUMBING SYSTEMS	50,864.00	SF	\$ 15.00	\$ 762,960		
PLUMBING EQUIPMENT	50,864.00	SF	\$ -			INCLUDED
DOMESTIC WATER	50,864.00	SF				INCLUDED
STORM / ROOF DRAINAGE	50,864.00	SF	\$ -			INCLUDED
SANITARY SEWER-UG	50,864.00	SF				INCLUDED
WASTE & VENT- ABOVE GRADE	50,864.00	SF				INCLUDED
NAT GAS PIPING	50,864.00	SF				INCLUDED
FIXTURES	50,864.00	SF				INCLUDED
PLUMBING INSULATION	50,864.00	SF				INCLUDED
SUBTOTAL- PLUMBING SYSTEMS				\$ 762,960	\$ 15.00	
DIVISION 24 HVAC SYSTEMS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
HVAC SYSTEM-	50,864.00	SF	\$ 56.00	\$ 2,848,384		
EQUIPMENT	50,864.00	SF				INCLUDED
DUCTWORK & ACCESSORIES	50,864.00	SF				INCLUDED
HVAC HYDRONIC PIPING SYS	50,864.00	SF	\$ -			INCLUDED
HVAC INSULATION	50,864.00	SF				INCLUDED
HVAC CONTROLS	50,864.00	SF				INCLUDED
TEST & BALANCE	50,864.00	SF		\$ -		
SUBTOTAL- HVAC SYSTEMS				\$ 2,848,384	\$ 56.00	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 50,864.00

DESCRIPTION			QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
EXISTING COURTS BUILDING-REMODEL									
DIVISION 260000 ELECTRICAL SYSTEMS									
BUILDING REMODEL*****			-	LS	\$ -		\$ -		
ELECTRICAL WORK			50,864.00	SF	\$ 36.00		\$ 1,831,104		
EQUIPMENT- SECONDARY			50,864.00	SF	\$ -		INCLUDED		
EMERGENCY GENERATOR			1.00	LS	\$ 75,000.00		\$ 75,000		
POWER DISTRIBUTION			50,864.00	SF	\$ -		INCLUDED		
LIGHTING & CONTROLS			50,864.00	SF	\$ -		INCLUDED		
FIRE ALARM SYSTEM			50,864.00	SF	\$ -		INCLUDED		
SECURITY ELECTRONICS			-	LS	\$ -		\$ -		N/A-SEE ADDITION
DATA/COMMUNICATIONS-ROUGH IN			50,864.00	SF	\$ -		INCLUDED		
ACCESS CONTROL-ROUGH IN			50,864.00	SF	\$ -		INCLUDED		
SECURITY SYS-ROUGH IN			50,864.00	SF	\$ -		INCLUDED		
AV SYSTEM-ROUGH IN			50,864.00	SF	\$ -		INCLUDED		
SUBTOTAL- ELECTRICAL SYSTEMS							\$ 1,906,104	\$ 37.47	
DIVISION 270000 SPECIAL/LV SYSTEMS									
LOBBY VESTIBULE ADDITION*****			-	LS	\$ -		\$ -		
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP			50,864.00	SF	\$ 3.45		\$ 175,481		
AV SYSTEM-WIRING/DEVICES/EQUIPMENT			50,864.00	SF	\$ 3.00		\$ 152,592		
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP			50,864.00	SF	\$ 1.10		\$ 55,950		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT			50,864.00	SF	\$ 1.00		\$ 50,864		
SUBTOTAL- SPECIAL/LV SYSTEMS							\$ 434,887	\$ 8.55	
DIVISION 310000 SITE DEVELOPMENT									
SITE PREPARATION / EROSION & SEDIMENT CONTROL			-	AC	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CLEARING			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING / CUT & FILL			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAVEMENT BASES			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE WATER SERVICE			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
STORM SEWER -MANHOLE/DRAINS/PIPING			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MANHOLE/ES/PIPING			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-OUTDOOR CLASSROOM/SEATING ARE			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RECEP/BENCHES			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
LANDSCAPING			-	LS	\$ -		\$ -		N/A-SEE SITE DEV ESTIMATE
SUBTOTAL- SITE DEVELOPMENT							\$ -	\$ -	
SUBTOTAL-DIRECT COST-							\$12,375,370	\$ 243.30	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 105,330.00

DESCRIPTION			QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
EXISTING COURTHOUSE SITE DEVELOPMENT									
DIVISION 310000 SITE DEVELOPMENT									
SITE PREPARATION / EROSION & SEDIMENT CONTROL			1.90	AC	\$ 400,000.00		\$ 760,000		
SITE CLEARING/SITE DEMO			1.00	LS	\$ -		INCLUDED		
STRUCTURE DEMO- CSU EXTENSION BLDG			1.00	LS	\$ 35,000.00		\$ 35,000		
STRUCTURE DEMO- GARAGE BLDG			1.00	LS	\$ 15,000.00		\$ 15,000		
EARTHWORK / SITE GRADING / CUT & FILL			1.00	LS	\$ -		INCLUDED		
IMPORTED BASE COURSE- PAVEMENT BASES			1.00	LS	\$ -		INCLUDED		
DOMESTIC/FIRE WATER SERVICE			1.00	LS	\$ -		INCLUDED		NEW DOMESTIC WATER SERV
STORM SEWER -MANHOLE/DRAINS/PIPING			1.00	LS	\$ -		INCLUDED		NEW STORM PIPING/STRUCT
SANITARY SEWER SERVICE-MANHOLE/PIPING			1.00	LS	\$ -		INCLUDED		NEW SANITARY SERVICE
NATURAL GAS SERVICE			1.00	LS	\$ -		INCLUDED		NEW SERVICE TO ADDN
ASPHALT PAVMENT			1.00	LS	\$ -		INCLUDED		NEW REPLACEMENT PAVING
SITE CONCRETE-FLATWORK			1.00	LS	\$ -		INCLUDED		WALKS/CONC PAVEMENT
SITE CONCRETE-MISC			1.00	LS	\$ -		INCLUDED		
SITE FURNISHINGS- TRASH RECEP/BENCHES			1.00	LS	\$ -		INCLUDED		
LANDSCAPING			1.00	LS	\$ -		INCLUDED		WITHIN SITE LIMITS
SUBTOTAL- SITE DEVELOPMENT							\$ 810,000	\$ 7.69	
SUBTOTAL-DIRECT COST-							\$ 810,000	\$ 7.69	

FORMER KMART

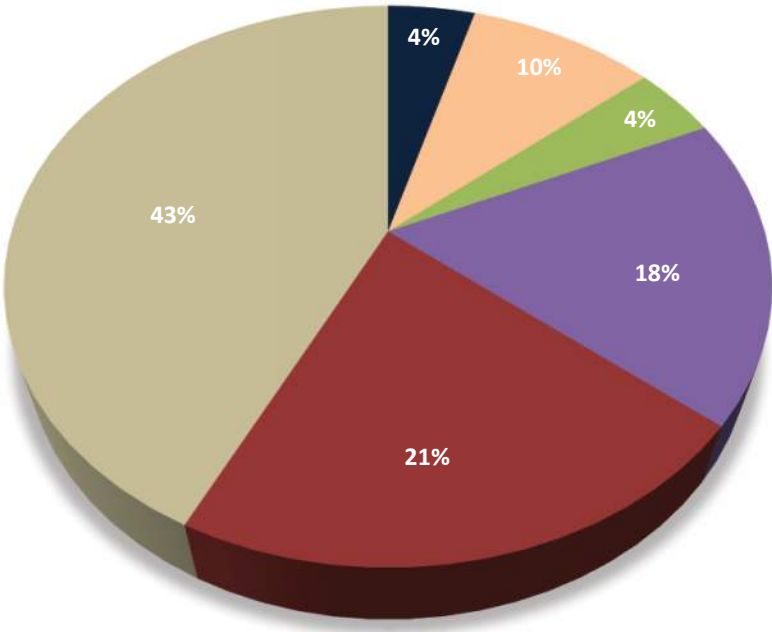
The estimate includes appropriately 96,000 gf of existing space to be remodel along with site development. Design add alternates have been provided in addition to the base estimate.

Construction Cost	SF	\$/sf	Sub-total
Site Development			\$ 721,170
Renovation	96,046	\$244	\$22,761,591
TOTAL			\$23,482,761
Project "soft" Costs			\$ 1,798,793
TOTAL PROJECT COSTS			\$25,281,554

ADD ALTERNATES

Site Development (additional 3.4 acres)	\$1,213,327	Interior Courtyards	\$ 406,652
Facilities & Vehicle Storage Building including site	\$2,675,298	Interior Build out of CSU Extension & Public Health	\$ 749,362
Interior Build out of (1) Courtroom	\$ 353,985	CSU Extension Lobby Vestibule	\$ 123,526
New pull-through Vehicle Sally Port	\$ 628,322	Complete Reroof (insulation & membrane)	\$1,756,958

K-MART SITE OPTION



■ GENERAL CONDITIONS ■ SITEWORK ■ STRUCTURE/SUBSTRATE ■ INTERIOR CONSTRUCTION ■ FINISHES ■ MEP

FCI Constructors, Inc.

Date:

July 24, 2020

Project:

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO
CONCEPTUAL PROGRAMMATIC COST MODEL-R1

KMART SITE OPTION-R1

	NEW CONSTR. RENOVATION 11,136 VEHICLE STORAGE/SHOP BLDG		NEW CONSTR. RENOVATION 2,625 KMART BUILDING		NEW CONSTR. RENOVATION 13,761 SITE DEVELOPMENT		NEW CONSTR. RENOVATION 13,761 TOTALS		
DESCRIPTION	TOTAL SF	11,136	TOTAL SF	97,227	TOTAL SF	108,363	TOTAL SF	108,363	NOTES
	TOTAL COST	COST/SF	TOTAL COST	COST/SF	TOTAL COST	COST/SF	TOTAL COST	COST/SF	
100000 GENERAL CONDITIONS	\$ 192,000	\$ 17.24	\$ 825,000	\$ 8.49	\$ 192,000	\$ 1.77	\$ 1,209,000	\$ 11.16	
310000 SITE WORK	\$ -	\$ -	\$ -	\$ -	\$ 2,052,000	\$ 18.94	\$ 2,052,000	\$ 18.94	
020000 SITEWORK - EXISTING CONDITONS	\$ -	\$ -	\$ 330,655	\$ 3.40	\$ -	\$ -	\$ 330,655	\$ 3.05	
020000 SITEWORK - BUILDING	\$ 153,624	\$ 13.80	\$ 53,860	\$ 0.55	\$ -	\$ -	\$ 207,484	\$ 1.91	
020000 SITEWORK - DEEP FOUNDATIONS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
030000 CONCRETE	\$ 213,980	\$ 19.22	\$ 146,133	\$ 1.50	\$ -	\$ -	\$ 360,113	\$ 3.32	
040000 MASONRY	\$ -	\$ -	\$ 308,129	\$ 3.17	\$ -	\$ -	\$ 308,129	\$ 2.84	
050000 METALS	\$ 41,760	\$ 3.75	\$ 460,189	\$ 4.73	\$ -	\$ -	\$ 501,949	\$ 4.63	
060000 WOOD & PLASTICS	\$ 22,272	\$ 2.00	\$ 1,152,483	\$ 11.85	\$ -	\$ -	\$ 1,174,755	\$ 10.84	
070000 THERMAL & MOISTURE PROTECTION	\$ 12,086	\$ 1.09	\$ 2,269,470	\$ 23.34	\$ -	\$ -	\$ 2,281,556	\$ 21.05	
080000 DOORS & WINDOWS	\$ 58,467	\$ 5.25	\$ 1,318,087	\$ 13.56	\$ -	\$ -	\$ 1,376,554	\$ 12.70	
090000 FINISHES	\$ 204,276	\$ 18.34	\$ 4,778,464	\$ 49.15	\$ -	\$ -	\$ 4,982,740	\$ 45.98	
100000 SPECIALTIES	\$ 26,726	\$ 2.40	\$ 365,780	\$ 3.76	\$ -	\$ -	\$ 392,506	\$ 3.62	
110000 EQUIPMENT	\$ -	\$ -	\$ 24,262	\$ 0.25	\$ -	\$ -	\$ 24,262	\$ 0.22	
120000 FURNISHINGS	\$ -	\$ -	\$ 74,500	\$ 0.77	\$ -	\$ -	\$ 74,500	\$ 0.69	
130000 SPECIAL CONSTRUCTION	\$ 378,624	\$ 34.00	\$ -	\$ -	\$ -	\$ -	\$ 378,624	\$ 3.49	
140000 CONVEYING SYSTEMS	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
210000 FIRE PROTECTION	\$ 37,862	\$ 3.40	\$ 233,335	\$ 2.40	\$ -	\$ -	\$ 271,197	\$ 2.50	
230000 PLUMBING	\$ 155,904	\$ 14.00	\$ 1,730,652	\$ 17.80	\$ -	\$ -	\$ 1,886,556	\$ 17.41	
250000 HVAC	\$ 256,128	\$ 23.00	\$ 4,590,392	\$ 47.21	\$ -	\$ -	\$ 4,846,520	\$ 44.72	
260000 ELECTRICAL	\$ 222,720	\$ 20.00	\$ 3,718,296	\$ 38.24	\$ -	\$ -	\$ 3,941,016	\$ 36.37	
27/280000 LV SPECIAL SYSTEMS	\$ 30,624	\$ 2.75	\$ 674,164	\$ 6.93	\$ -	\$ -	\$ 704,788	\$ 6.50	
SUBTOTAL - DIRECT COST	\$ 2,007,054	\$ 180.23	\$ 23,053,851	\$ 237.11	\$ 2,244,000	\$ 20.71	\$ 27,304,905	\$ 251.98	
CONTINGENCY	\$ 160,564	\$ 14.42	\$ 1,844,308	\$ 18.97	\$ 179,520	\$ 1.66	\$ 2,184,392	\$ 20.16	8.00%
BUILDERS RISK INSURANCE	\$ 1,133	\$ 0.10	\$ 11,858	\$ 0.12	\$ 1,137	\$ 0.01	\$ 14,128	\$ 0.13	
GENERAL LIABILITY INSURANCE	\$ 19,313	\$ 1.73	\$ 202,125	\$ 2.08	\$ 19,388	\$ 0.18	\$ 240,825	\$ 2.22	0.75%
PROPERTY SURVEY	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
SOILS INVESTIGATION/GEOTECHNICAL ENGINEERING	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
MATERIALS TESTING / INSPECTION	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
PLANNING APPLICATIONS/PERMIT/PLAN REVIEW FEES	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
BUILDING PERMIT	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
ARCHITECTURAL DESIGN & ENGINEERING (C/S/M&E)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	BY OWNER
PAYMENT/PERFORMANCE BONDS	\$ 16,425	\$ 1.47	\$ 118,266	\$ 1.22	\$ 16,479	\$ 0.15	\$ 151,170	\$ 1.40	1-YEAR WARRANTY
CONSTRUCTION PHASE OVERHEAD & FEE	\$ 110,224	\$ 9.90	\$ 1,261,520	\$ 12.98	\$ 123,026	\$ 1.14	\$ 1,494,771	\$ 13.79	5.00%
SUB-TOTAL ESTIMATED CONSTRUCTION COST	\$ 2,314,713	\$ 207.86	\$ 26,491,929	\$ 272.48	\$ 2,583,550	\$ 23.84	\$ 31,390,192	\$ 289.68	
SCOPE REVISIONS/ADJUSTMENTS:									
DELETE VEHICLE SALLYPORT ADDITION	\$ -	\$ -	\$ (339,854)	\$ (3.50)	\$ -	\$ -	\$ (339,854)	\$ (3.14)	
DELETE CSU EXTENSION OFFICE LOBBY VESTIBULE	\$ -	\$ -	\$ (123,526)	\$ (1.27)	\$ -	\$ -	\$ (123,526)	\$ (1.14)	
DELETE INTERIOR COURTYARDS	\$ -	\$ -	\$ (406,652)	\$ (4.18)	\$ -	\$ -	\$ (406,652)	\$ (3.75)	
DELETE INTERIOR BUILD OUT OF 1 COURTROOM	\$ -	\$ -	\$ (353,985)	\$ (3.64)	\$ -	\$ -	\$ (353,985)	\$ (3.27)	
DELETE INTERIOR BUILD OUT OF CSU EXTENSION & HEALTH DEPT	\$ -	\$ -	\$ (749,362)	\$ (7.71)	\$ -	\$ -	\$ (749,362)	\$ (6.92)	
ADJUSTED ESTIMATED CONSTRUCTION COST	\$ 2,314,712.79	\$ 207.86	\$ 24,518,549.15	\$ 252.18	\$ 2,583,550.10	\$ 23.84	\$ 29,416,812.04	\$ 271.47	
POTENTIAL COST REDUCTIONS:									
LEAVE EXISTING ROOFING ASSEMBLY - PATCH & REPAIR EXISTING (ASSUMES CODE COMPLIANT INSULATION & WIND UPLIFT RATING			\$ (1,756,958)	\$ (18.07)					TO BE VERIFIED

MOFFAT COUNTY, CO			
Courthouse Feasibility Study			
Summary of Costs - Kmart Building Renovation		2020 Dollars	
	Square Footage	Average \$/SF	Total
CONSTRUCTION COSTS			
Site Development (2 acres)			\$ 721,170
Building Renovation and Entry Addition			\$ 22,761,591
TOTAL BASE BID	96,046	\$ 244	\$ 23,482,761
ADD ALTERNATES			
Site Development (additional 3.4 acres)			\$ 1,213,327
Facilities & Vehicle Storage Building including site	11,136	\$ 240	\$ 2,675,298
Interior Build out of 1 Courtroom	2,094	\$ 169	\$ 353,985
New pull-through Vehicle Sally Port	1,028	\$ 611	\$ 628,322
Interior Courtyards	1,237	\$ 329	\$ 406,652.00
Interior Build out of CSU Extension & Public Health	6,350	\$ 118	\$ 749,362.00
CSU Extension Lobby Vestibule	182	\$ 679	\$ 123,526.00
Complete Reroof (insulation & membrane)			\$ 1,756,958.00
TOTAL WITH ALTERNATES	108,392	\$ 290	\$ 31,390,191
SOFT COSTS			
Site Acquisition		TBD	\$ -
Off Site Utilities			\$ -
Off-Street Improvements		TBD	\$ -
Building permit		*Waiver?	\$ 75,000
Development Fees		Not applicable	\$ -
Environmental Phase I		Not applicable	\$ -
A/E Design Fees	7.0%	of construction	\$ 1,643,793
Civil and Landscape		Included in Design Fees	
Kitchen Consultant		Included in Design Fees	
Technology Design		Included in Design Fees	
Security Electronics Design		Included in Design Fees	
Reimbursables/Other			\$ 10,000
Survey			\$ -
Soils Report			\$ -
Construction Testing			\$ 35,000
Printing			\$ -
Furniture and Equipment		TBD	\$ -
Telephone/Data		Conduit/Cable in Construction Costs	
Audio/Visual (County Departments)			\$ 35,000
Audio/Visual (Court)			\$ -
Builders Risk/Insurance		Included in construction costs	
Commissioning			\$ -
Moving Expenses		TBD	\$ -
Bond/Financial Fees		Included in construction costs	
Owner Contingency			\$ -
SOFT COST TOTALS			\$ 1,798,793
TOTAL PROJECT COSTS			\$ 25,281,554

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 11,136.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
VEHICLE STORAGE & SHOP BUILDING						174' X 64'
020000 - SITEWORK-BUILDING						
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	423.11	CY	\$ 8.50	\$ 3,596		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- COLUMN & WALL FOOTINGS	423.11	CY	\$ 71.40	\$ 30,210		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATON EXCAV/BF-DISPOSE UNSUITABLE	423.11	CY	\$ 13.00	\$ 5,500		DISPOSE OFFSITE
IMPORTED FILL TO SLAB ON GRADE	1,466.67	CY	\$ 62.00	\$ 90,933		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	11,000.00	SF	\$ 1.38	\$ 15,156		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	12,100.00	SF	\$ 0.68	\$ 8,228		15 MIL STEGO
SUBTOTAL- 020000 SITEWORK-BUILDING				\$ 153,624	\$ 13.80	
022400 - DEEP FOUNDATIONS						
HELICAL PILES- MOBILIZE/DEMOB	-	DY	\$ 4,500.00	\$ -		
HELICAL PILES- 50 FT BID LENGTH	-	LF	\$ 1,650.00	\$ -		N/A-EXCLUDED
PILE TESTING	-	LS	\$ 5,000.00	\$ -		
LAYOUT	-	HRS	\$ 72.00	\$ -		
SUBTOTAL- 022400 DEEP FOUNDATIONS				\$ -	\$ -	
030000 - CONCRETE						
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS	37.02	CY	\$ 490.00	\$ 18,141		24" X 12"
CONCRETE FOUNDATIONS-PERIM STEM WALLS	37.02	CY	\$ 745.00	\$ 27,582		12" X 24" H
CONCRETE FOUNDATIONS-COL PILLASTERS AT WALLS	18.00	EA	\$ 390.00	\$ 7,020		
CONCRETE FOUNDATIONS-INTER WALL FOOTINGS	13.53	CY	\$ 490.00	\$ 6,631		24" X 12"
CONCRETE FOUNDATIONS-INTER STEM WALLS	9.07	CY	\$ 780.00	\$ 7,073		8" X 24" H
CONCRETE FOUNDATIONS-COL FOOTINGS	79.64	CY	\$ 490.00	\$ 39,026		8" X 8" X 2'-COL FTGS
CONCRETE FOUNDATIONS-COL FOOTINGS	4.20	CY	\$ 490.00	\$ 2,058		6" X 6" X 1.5'-COL FTGS
MISC PITS/FOUNDATIONS	1.00	LS	\$ 12,000.00	\$ 12,000		
SLAB ON GRADE-6" TH	11,000.00	SF	\$ 7.55	\$ 83,050		
SLAB ON METAL DECK-6.5" TH	-	SF	\$ 6.40	\$ -		N/A-EXCLUDED
METAL PAN STAIR FILL	-	SF	\$ 5.80	\$ -		N/A-EXCLUDED
CONCRETE EQUIP PADS	1.00	LS	\$ 3,600.00	\$ 3,600		
STE/GROUT PIPE BOLLARDS	24.00	EA	\$ 325.00	\$ 7,800		
SUBTOTAL- 030000 CONCRETE				\$ 213,980	\$ 19.22	
040000 - MASONRY & STONE WORK						
EXTERIOR WALLS-VENEER -4" ARCH'L CMU- 48"	-	SF	\$ 18.45	\$ -		N/A-EXCLUDED
WAINSCOT	-	SF	\$ 22.60	\$ -		N/A-EXCLUDED
INTERIOR CMU WALLS-8" TH	-	SF	\$ 22.60	\$ -		N/A-EXCLUDED
SUBTOTAL- 040000 MASONRY				\$ -	\$ -	
050000 - METALS						
STRUCTURAL STEEL COLUMNS-1.5#/SF	-	TNS	\$ 2,350.00	\$ -		N/A-SEE PEMB PACKAGE
STRUCTURAL STEEL FRAMING-WF FLOOR & ROOF TERRACE FRAMING-8.0#/SF	-	TNS	\$ 2,260.00	\$ -		N/A-SEE PEMB PACKAGE
STEEL WF FRAMING- ROOF-3.0#/SF	-	TNS	\$ 2,260.00	\$ -		N/A-SEE PEMB PACKAGE
STEEL JOIST FRAMING- ROOF-3.5#/SF	-	TNS	\$ 1,675.00	\$ -		N/A-SEE PEMB PACKAGE
STRUCTURAL STEEL FRAMING- BRACE FRAMING	-	TNS	\$ 2,385.00	\$ -		N/A-SEE PEMB PACKAGE
STRUCTURAL STEEL FRAMING- ROOFTOP SCREEN WALL SUPPORT	-	TNS	\$ 2,385.00	\$ -		N/A-SEE PEMB PACKAGE
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDDGE ANGLES	-	TNS	\$ 2,450.00	\$ -		N/A-SEE PEMB PACKAGE
STRUCTURAL STEEL/STEEL JOISTS- ERECTION	-	DY	\$ 6,150.00	\$ -		N/A-SEE PEMB PACKAGE
METAL FLOOR DECKING - 2" /18 GAGE	-	SF	\$ 2.80	\$ -		N/A-SEE PEMB PACKAGE
METAL ROOF DECKING - 1.5" /20 GAGE	-	SF	\$ 2.60	\$ -		N/A-SEE PEMB PACKAGE
CANOPY FRAMING-ALLOW	-	SF	\$ 45.00	\$ -		FRAMING & DECK
STEEL PAN STAIRS- 1ST - 2ND FLRS	-	RL	\$ 685.00	\$ -		N/A-EXCLUDED
MISC METALS	11,136.00	SF	\$ 3.75	\$ 41,760		
SUBTOTAL- 050000 METALS				\$ 41,760	\$ 3.75	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 11,136.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
VEHICLE STORAGE & SHOP BUILDING						
060000 - WOOD & PLASTICS						
PERIMETER ROOF BLOCKING-TREATED 2X	-	LF	\$ 4.50	\$ -		
PERIMETER COPING NAILERS/SHIMS	-	LF	\$ 6.50	\$ -		
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	-	SF	\$ 1.90	\$ -		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	11,136.00	SF	\$ 2.00	\$ 22,272		OFFICE/STAFF WORK AREAS
SUBTOTAL- 060000 WOOD & PLASTICS				\$ 22,272	\$ 2.00	
070000 - THERMAL & MOISTURE PROTECTION						
FOUNDATION INSULATION-2" TH RIGID	952.00	SF	\$ 2.80	\$ 2,666		
PERIMETER FDN DAMPROOFING	952.00	SF	\$ 2.10	\$ 1,999		
ROOF MOUNTED SKYLIGHTS	-	EA	\$ 1,525.00	\$ -		N/A-EXCLUDED
ROOF ACCESS HATCH	1.00	EA	\$ 2,410.00	\$ 2,410		
APPLIED FIREPROOFING	-	SF	\$ -	\$ -		N/A-EXCLUDED
CAULKING & SEALANTS	11,136.00	SF	\$ 0.45	\$ 5,011		
SUBTOTAL- 070000 THERMAL & MOISTURE PROTECTION				\$ 12,086	\$ 1.09	
080000 - DOORS & WINDOWS						
DOORS/FRAMES/HW-INTERIOR	12.00	EA	\$ 2,050.00	\$ 24,600		
DOORS/FRAMES/HW-EXTERIOR	6.00	EA	\$ 2,350.00	\$ 14,100		
OVERHEAD DOORS- SECTIONAL/INSUL/MOTOR OP	2.00	EA	\$ 5,800.00	\$ 11,600		
INTERIOR WINDOWS/GLAZING	64.00	SF	\$ 34.00	\$ 2,176		
ENTRY STOREFRONTS-ALUM/GLASS	-	SF	\$ 56.00	\$ -		N/A-EXCLUDED
DOORS/FRAMES/HW-STOREFRONTS	-	EA	\$ 3,800.00	\$ -		N/A-EXCLUDED
ALUM STOREFRONT WINDOWS-FIXED	64.00	SF	\$ 56.00	\$ 3,584		EXTER WINDOWS
DOORS/FRAMES/HW-STOREFRONTS	1.00	EA	\$ 1,850.00	\$ 1,850		INTERIOR DOORS
AUTO DOOR OPERATORS	-	EA	\$ 1,550.00	\$ -		MAIN ENTRY
ALUM LOUVERED SUNSHADES- WALL MTD-FIXED	-	LF	\$ 190.00	\$ -		N/A-EXCLUDED
MISC INTERIOR GLAZING	11,136.00	SF	\$ 0.05	\$ 557		
SUBTOTAL- 080000 DOORS & WINDOWS				\$ 58,467	\$ 5.25	
090000 - FINISHES						
EXTERIOR WALLS-6" LG FRAMING/SHEATHING/DW	-	SF	\$ 14.40	\$ -		N/
INTERIOR CEILING BULKHEADS/FASCIAS/SOFFITS	-	LF	\$ 56.00	\$ -		CANOPY SOFFITS/FASCIAS
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	5,394.00	SF	\$ 24.00	\$ 129,456		OFFICE/SHOP AREAS
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	7,482.00	SF	\$ 10.00	\$ 74,820		VEH STORAGE AREAS
SUBTOTAL- 090000 FINISHES				\$ 204,276	\$ 18.34	
DIVISION 100000 - SPECIALTIES						
MISCELLANEOUS SPECIALTIES	11,136.00	SF	\$ 2.40	\$ 26,726		
TOILET PTNS/ACCESSORIES	11,136.00	SF	\$ -			INCLUDED
WALL & CORNER PROTECTION	11,136.00	SF	\$ -			INCLUDED
FIRE PROTECTION CABINETS/EXTINGUISHERS	11,136.00	SF	\$ -			INCLUDED
ROOM ID SIGNAGE/WAYFINDING	11,136.00	SF	\$ -			INCLUDED
LOCKERS	11,136.00	SF	\$ -			INCLUDED
STORAGE SHELVING	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 100000 SPECIALTIES				\$ 26,726	\$ 2.40	
DIVISION 110000 - EQUIPMENT						
RESIDENTIAL APPLIANCES						
FOOD SERVICE EQUIPMENT-COMMERCIAL	-	LS	\$ 4,500.00	\$ -		N/A-OWNER FF & E
AV EQUIPMENT-	-	LS	\$ -	\$ -		N/A-OWNER FF & E
WELDING BOOTH	-	EA	\$ 45,000.00	\$ -		N/A-OWNER FF & E
WOOD WORKING SHOP EQUIPMENT	-	LS	\$ 50,000.00	\$ -		N/A-OWNER FF & E
MAINT EQUIPMENT	-	LS	\$ -	\$ -		N/A-OWNER FF & E
LOADING DOCK EQUIPMENT	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 110000 EQUIPMENT				\$ -	\$ -	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 11,136.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
VEHICLE STORAGE & SHOP BUILDING						
DIVISION 120000 - FURNISHINGS						
FLOOR/ENTRY MATS	-	LS	\$ 1,500.00	\$ -		N/A-SEE WALKOFF CARPET
WINDOW TREATMENTS-ROLLER SHADES/BLINDS	-	SF	\$ 24.30	\$ -		N/A-OWNER FF & E
CASEWORK	-	LS	\$ -	\$ -		SEE DIV 060000
SUBTOTAL- 120000 FURNISHINGS				\$ -	\$ -	
DIVISION 130000 - SPECIAL CONSTRUCTION						
PRE-ENGINEERED METAL BUILDING PACKAGE	11,136.00	SF	\$ 18.25	\$ 203,232		FURNISH & DELIVER
MAIN FRAME/ROOF PURLINS/WALL GIRTS/FRAMED OI	11,136.00	SF	\$ -	\$ -		FURNISH & DELIVER
STANDING SEAM METAL ROOFING	11,136.00	SF	\$ -	\$ -		FURNISH & DELIVER
R-PANEL WALL PANELS	11,136.00	SF	\$ -	\$ -		FURNISH & DELIVER
LINER PANELS-WALLS	11,136.00	SF	\$ -	\$ -		FURNISH & DELIVER
LINER PANELS-CEILINGS	11,136.00	SF	\$ -	\$ -		FURNISH & DELIVER
INSULATION PACKAGE	11,136.00	SF	\$ -	\$ -		FURNISH & DELIVER
ROOF DETECTION/INSTALL INSULATION	11,136.00	SF	\$ 15.75	\$ 175,392		
X-RAY PROTECTION	-	SF	\$ 24.20	\$ -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 130000 SPECIAL CONSTRUCTION				\$ 378,624	\$ 34.00	
DIVISION 140000 - CONVEYING SYSTEMS						
HYDRAULIC ELEVATOR-2 STOP	-	EA	\$ 94,000.00	\$ -		
HC WHEEL CHAIR LIFT	-	EA	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 140000 CONVEYING SYSTEMS				\$ -	\$ -	
DIVISION 210000 - FIRE SUPPRESSION SYSTEMS						
FIRE SPRINKLERS- WET PIPE	11,136.00	SF	\$ 3.40	\$ 37,862		
FIRE SPRINKLERS- IN RACK SYSTEM	-	SF	\$ -	\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- DRY TYPE	-	SF	\$ -	\$ -		N/A-EXCLUDED
FIRE SUPPRESSION SYSTEM- CLEAN AGENT	-	SF	\$ -	\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- FIRE/IOCKEY PUMP	-	LS	\$ -	\$ -		N/A-EXCLUDED
FIRE SPRINKLERS- WATER STORAGE TANK	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 210000 FIRE SUPPRESSION SYSTEMS				\$ 37,862	\$ 3.40	
DIVISION 230000 PLUMBING SYSTEMS						
PLUMBING EQUIPMENT	11,136.00	SF	\$ 14.00	\$ 155,904		
DOMESTIC WATER	11,136.00	SF		INCLUDED		
STORM / ROOF DRAINAGE	11,136.00	SF	\$ -	INCLUDED		
SANITARY SEWER-UG	11,136.00	SF		INCLUDED		
WASTE & VENT- ABOVE GRADE	11,136.00	SF		INCLUDED		
NAT GAS PIPING	11,136.00	SF		INCLUDED		
FIXTURES	11,136.00	SF		INCLUDED		
PLUMBING INSULATION	11,136.00	SF		INCLUDED		
COMPRESSED AIR SYSTEM-SHOP AIR SYS	-	LS	\$ 40,000.00	\$ -		N/A-OWNER FF & E
SUBTOTAL- PLUMBING SYSTEMS				\$ 155,904	\$ 14.00	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 11,136.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
VEHICLE STORAGE & SHOP BUILDING						
DIVISION 24 HVAC SYSTEMS						
HVAC SYSTEM- ROOF TOP PACKAGE SYS	11,136.00	SF	\$ 23.00	\$ 256,128		GAS HEAT/PN COOLING
EQUIPMENT	11,136.00	SF		\$ -		
DUCTWORK & ACCESSORIES	11,136.00	SF		\$ -		
HVAC HYDRONIC PIPING SYS	-	SF	\$ -	\$ -		N/A
HVAC INSULATION	11,136.00	SF		\$ -		
HVAC CONTROLS	11,136.00	SF		\$ -		
TEST & BALANCE	11,136.00	SF		\$ -		
GEOTHERMAL WELL FIELD	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- HVAC SYSTEMS				\$ 256,128	\$ 23.00	
DIVISION 260000 ELECTRICAL SYSTEMS						
ELECTRICAL WORK	11,136.00	SF	\$ 20.00	\$ 222,720		
EQUIPMENT- SECONDARY	11,136.00	SF	\$ -	INCLUDED		
EMERGENCY GENERATOR		SF	\$ -	\$ -		N/A-EXCLUDED
POWER DISTRIBUTION	11,136.00	SF	\$ -	INCLUDED		
LIGHTING & CONTROLS	11,136.00	SF	\$ -	INCLUDED		
FIRE ALARM SYSTEM	11,136.00	SF	\$ -	INCLUDED		
DATA/COMMUNICATIONS-ROUGH IN	11,136.00	SF	\$ -	INCLUDED		
ACCESS CONTROL-ROUGH IN	11,136.00	SF	\$ -	INCLUDED		
SECURITY SYS-ROUGH IN	11,136.00	SF	\$ -	INCLUDED		
AV SYSTEM-ROUGH IN	11,136.00	SF	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- ELECTRICAL SYSTEMS				\$ 222,720	\$ 20.00	
DIVISION 270000 SPECIAL/LV SYSTEMS						
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP	11,136.00	SF	\$ 2.75	\$ 30,624		
AV SYSTEM-WIRING/DEVICES/EQUIPMENT	-	SF	\$ -	\$ -		N/A
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP	11,136.00	SF	\$ -	INCLUDED		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT	11,136.00	SF	\$ -	INCLUDED		
SUBTOTAL- SPECIAL/LV SYSTEMS				\$ 30,624	\$ 2.75	
DIVISION 310000 SITE DEVELOPMENT						
SITE PREPARATION / EROSION & SEDIMENT CONTROL	-	AC	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CLEARING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING / CUT & FILL	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAVEMENT BASES	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE WATER SERVICE	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
STORM SEWER -MANHOLE/DRAINS/PIPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MANHOLE/PIPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-MISC	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RECEP/BENCHES	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
LANDSCAPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SUBTOTAL- SITE DEVELOPMENT				\$ -	\$ -	
SUBTOTAL-DIRECT COST-				\$ 1,815,054	\$ 162.99	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION		QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1								
020000 - SITEWORK-EXISTING CONDITONS								
BUILDING REMODEL*****	-	LS	\$	-	\$	-		
INTERIOR DEMOLITION*****	-	LS	\$	-	\$	-		
REMOVE FLOORING	77,000.00	SF	\$	0.80	\$	61,600		INCL ADHESIVE REMOVAL
REMOVE SUSPENDED CEILINGS	77,000.00	SF	\$	0.45	\$	34,650		
REMOVE WOOD FRAMED MEZZANINE	5,460.00	SF	\$	2.25	\$	12,285		
REMOVE MISC INTERIOR PARTITIONS/DOORS	1.00	LS	\$	4,800.00	\$	4,800		
MISC INTERIOR REMOVALS	94,600.00	SF	\$	0.10	\$	9,460		
MISC INTERIOR REMOVALS-MEP WORK	94,600.00	SF	\$	1.10	\$	104,060		
SAWCUT/REMOVE EXISTING SLABS	3,000.00	SF	\$	12.00	\$	36,000		NEW U/G PLUMBING
SAWCUT/REMOVE EXISTING SLABS	1,600.00	SF	\$	6.00	\$	9,600		NEW EXTER COURTYARDS
EXTERIOR DEMOLITION*****	-	LS	\$	-	\$	-		
REMOVE RETAIL SIGN PANEL/LOGO/CMU PIERS	1.00	LS	\$	8,000.00	\$	8,000		
REMOVE MAIN ENTRY VESTIBULE	1.00	LS	\$	3,000.00	\$	3,000		
REMOVE GARDEN CENTER CANOPY	3,744.00	SF	\$	2.00	\$	7,488		
REMOVE EX MECH ROOFTOP UNITS	26.00	EA	\$	350.00	\$	9,100		
CUT NEW OPENINGS IN EX CMU WALLS-DOORS	13.00	EA	\$	420.00	\$	5,460		
CUT NEW OPENINGS IN EX CMU WALLS-WINDOWS	17.00	EA	\$	605.00	\$	10,285		SMALL OPENINGS
CUT NEW OPENINGS IN EX CMU WALLS-WINDOWS	4.00	EA	\$	1,250.00	\$	5,000		LARGE OPENINGS
REMOVE EXISTING CMU WALL- NEW ENTRY VESTIBULE	1,518.00	SF	\$	6.50	\$	9,867		
SUBTOTAL- 020000 SITEWORK-EXISTING CONDITONS					\$	330,655	\$	3.50
020000 - SITEWORK-BUILDING								
LOBBY VESTIBULE ADDITION*****	-	LS	\$	-	\$	-		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	74.00	CY	\$	8.50	\$	629		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE: COLUMN & WALL FOOTINGS	74.00	CY	\$	71.40	\$	5,284		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATION EXCAV/BF-DISPOSE UNSUITABLE	74.00	CY	\$	13.00	\$	962		DISPOSE OFFSITE
IMPORTED FILL TO SLAB ON GRADE	193.20	CY	\$	62.00	\$	11,978		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	1,449.00	SF	\$	1.38	\$	1,996		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	1,593.90	SF	\$	0.68	\$	1,084		15 MIL STEGO
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$	-	\$	-		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	104.53	CY	\$	8.50	\$	889		EXCAV TO FROST DEPTH-36"
IMPORTED FILL TO SLAB ON GRADE / FOOTINGS	104.53	CY	\$	62.00	\$	6,481		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	176.00	SF	\$	1.38	\$	242		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	193.60	SF	\$	0.68	\$	132		15 MIL STEGO
VEHICLE SALLYPORT ADDITION*****	-	LS	\$	-	\$	-		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	60.00	CY	\$	8.50	\$	510		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE: COLUMN & WALL FOOTINGS	60.00	CY	\$	71.40	\$	4,284		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATION EXCAV/BF-DISPOSE UNSUITABLE	60.00	CY	\$	13.00	\$	780		DISPOSE OFFSITE
IMPORTED FILL TO SLAB ON GRADE	133.33	CY	\$	62.00	\$	8,267		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	1,000.00	SF	\$	1.38	\$	1,378		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	1,100.00	SF	\$	0.68	\$	748		15 MIL STEGO
FRONT ENTRY CANOPY*****	-	LS	\$	-	\$	-		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	28.44	CY	\$	8.50	\$	242		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE: COLUMN & WALL FOOTINGS	28.44	CY	\$	71.40	\$	2,031		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATION EXCAV/BF-DISPOSE UNSUITABLE	28.44	CY	\$	13.00	\$	370		DISPOSE OFFSITE
OUTDOOR COURTYARDS*****	-	LS	\$	-	\$	-		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	60.00	CY	\$	8.50	\$	510		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE: COLUMN & WALL FOOTINGS	60.00	CY	\$	71.40	\$	4,284		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATION EXCAV/BF-DISPOSE UNSUITABLE	60.00	CY	\$	13.00	\$	780		DISPOSE OFFSITE
SUBTOTAL- 020000 SITEWORK-BUILDING					\$	53,860	\$	0.57
022400 - DEEP FOUNDATIONS								
HELICAL PILES- MOBILIZE/DEMOB	-	DY	\$	4,500.00	\$	-		
HELICAL PILES- 50 FT BID LENGTH	-	LF	\$	1,650.00	\$	-		N/A-EXCLUDED
PILE TESTING	-	LS	\$	5,000.00	\$	-		
LAYOUT	-	HRS	\$	72.00	\$	-		
SUBTOTAL- 022400 DEEP FOUNDATIONS					\$	-	\$	-

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION		QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1								
030000 - CONCRETE								
LOBBY VESTIBULE ADDITION*****	-	LS	\$	-	\$	-		
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS	8.63	CY	\$	490.00	\$	4,230		24" X 12"
CONCRETE FOUNDATIONS-PERIM STEM WALLS	11.48	CY	\$	745.00	\$	8,554		16" X 24" H
CONCRETE FOUNDATIONS-COL FOOTINGS	4.86	CY	\$	490.00	\$	2,382		5' X 5' X 1' -COL FTGS
MISC PITS/FOUNDATIONS	1.00	LS	\$	1,500.00	\$	1,500		
SLAB ON GRADE-5" TH	1,340.00	SF	\$	6.60	\$	8,844		
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$	-	\$	-		
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS	2.96	CY	\$	490.00	\$	1,448		24" X 12"
CONCRETE FOUNDATIONS-PERIM STEM WALLS	3.93	CY	\$	745.00	\$	2,929		16" X 24" H
CONCRETE FOUNDATIONS-COL FOOTINGS	3.89	CY	\$	490.00	\$	1,906		5' X 5' X 1' -COL FTGS
SLAB ON GRADE-5" TH	147.00	SF	\$	6.60	\$	970		
VEHICLE SALLYPORT ADDITION*****	-	LS	\$	-	\$	-		
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS	7.00	CY	\$	490.00	\$	3,430		24" X 12"
CONCRETE FOUNDATIONS-PERIM STEM WALLS	9.31	CY	\$	745.00	\$	6,936		16" X 24" H
CONCRETE FOUNDATIONS-COL FOOTINGS	3.89	CY	\$	490.00	\$	1,906		5' X 5' X 1' -COL FTGS
MISC PITS/FOUNDATIONS	1.00	LS	\$	1,500.00	\$	1,500		
SLAB ON GRADE-6" TH	912.00	SF	\$	7.55	\$	6,886		
FRONT ENTRY CANOPY*****	-	LS	\$	-	\$	-		
CONCRETE FOUNDATIONS-COL FOOTINGS	3.89	CY	\$	490.00	\$	1,906		5' X 5' X 1' -COL FTGS
CONCRETE FOUNDATIONS-COL PIERS	0.55	CY	\$	1,750.00	\$	963		1.33' X 1.33' X 2' -COL PIERS
OUTDOOR COURTYARDS*****	-	LS	\$	-	\$	-		
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS	15.87	CY	\$	490.00	\$	7,775		24" X 12"
CONCRETE FOUNDATIONS-PERIM STEM WALLS	21.10	CY	\$	745.00	\$	15,721		16" X 24" H
CONCRETE FOUNDATIONS-COL FOOTINGS	16.80	CY	\$	490.00	\$	8,232		6' X 6' X 1.5' -COL FTGS
CONCRETE FOUNDATIONS-COL PILLASTERS AT WALLS	8.00	EA	\$	390.00	\$	3,120		
MISC PITS/FOUNDATIONS	1.00	LS	\$	1,500.00	\$	1,500		
SLAB ON GRADE-5" TH	1,142.00	SF	\$	6.35	\$	7,252		
BUILDING REMODEL*****	-	LS	\$	-	\$	-		
SLAB ON GRADE-4" TH-PATCH BACK	3,000.00	SF	\$	11.85	\$	35,550		NEW U/G PLUMBING
CONCRETE FOUNDATIONS- WALL FOOTINGS	19.44	CY	\$	550.00	\$	10,694		NEW CMU WALLS-INTERIOR
SUBTOTAL- 030000 CONCRETE					\$	146,133	\$	1.54
040000 - MASONRY & STONE WORK								
LOBBY VESTIBULE ADDITION*****	-	LS	\$	-	\$	-		
EXTERIOR WALLS-VENEER -2" MANUF THINSTONE	600.00	SF	\$	38.00	\$	22,800		
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$	-	\$	-		
EXTERIOR WALLS-VENEER -2" MANUF THINSTONE	240.00	SF	\$	38.00	\$	9,120		
VEHICLE SALLYPORT ADDITION*****	-	LS	\$	-	\$	-		
EXTERIOR CMU WALLS-8" TH	1,800.00	SF	\$	22.60	\$	40,680		8" BACKUP TO VENEER
EXTERIOR WALLS-VENEER -4" ARCH'L CMU	1,800.00	SF	\$	18.45	\$	33,210		
FRONT ENTRY CANOPY*****	-	LS	\$	-	\$	-		
EXTERIOR WALLS-VENEER -2" MANUF THINSTONE	128.00	SF	\$	38.00	\$	4,864		COLUMN PIERS
CAST STONE COLUMN PIER CAPS	4.00	EA	\$	600.00	\$	2,400		COLUMN PIERS
OUTDOOR COURTYARDS*****	-	LS	\$	-	\$	-		
EXTERIOR WALLS-VENEER -4" ARCH'L CMU	816.00	SF	\$	18.45	\$	15,055		48" HIGH WAINSCOT
BUILDING REMODEL*****	-	LS	\$	-	\$	-		
INTERIOR CMU WALLS-8" TH	5,000.00	SF	\$	26.00	\$	130,000		SECURE WALLS
PATCH/REPAIR EXISTING CMU-AT NEW WALL OPENINGS	1.00	LS	\$	50,000.00	\$	50,000		
SUBTOTAL- 040000 MASONRY					\$	308,129	\$	3.26
050000 - METALS								
LOBBY VESTIBULE ADDITION*****	-	LS	\$	-	\$	-		
STRUCTURAL STEEL COLUMNS-1.5#/SF	1.09	TNS	\$	3,350.00	\$	3,641		
STEEL WF FRAMING- ROOF-10#/SF	7.25	TNS	\$	3,210.00	\$	23,256		
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDGGE ANGLES	1.00	TNS	\$	3,450.00	\$	3,450		ALLOW
STRUCTURAL STEEL FRAMING- BRACE FRAMING	1.00	TNS	\$	3,385.00	\$	3,385		1000#/LOCATION
METAL ROOF DECKING - 1.5"/20 GAGE	1,980.00	SF	\$	2.95	\$	5,841		
MISC METALS	1,449.00	SF	\$	3.75	\$	5,434		

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1						
050000 - METALS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
STRUCTURAL STEEL COLUMNS-1.5#/SF	0.13	TNS	\$ 3,350.00	\$ 442		
STEEL WF FRAMING- ROOF-10#/SF	0.88	TNS	\$ 3,210.00	\$ 2,825		
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDGGE ANGLES	0.25	TNS	\$ 3,450.00	\$ 863	ALLOW	
STRUCTURAL STEEL FRAMING- BRACE FRAMING	0.50	TNS	\$ 3,385.00	\$ 1,693	1000#/LOCATION	
METAL ROOF DECKING - 1.5"/20 GAGE	338.80	SF	\$ 2.95	\$ 999		
MISC METALS	176.00	SF	\$ 3.75	\$ 660		
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
STEEL JOIST FRAMING- ROOF-3.5#/SF	1.75	TNS	\$ 2,750.00	\$ 4,813		
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDGGE ANGLES	1.00	TNS	\$ 3,450.00	\$ 3,450	ALLOW	
METAL ROOF DECKING - 1.5"/20 GAGE	1,100.00	SF	\$ 2.95	\$ 3,245		
MISC METALS	1,000.00	SF	\$ 3.75	\$ 3,750		
FRONT ENTRY CANOPY*****	-	LS	\$ -	\$ -		
STRUCTURAL STEEL FRAMING- BEAMS-12#/SF	2.78	TNS	\$ 3,385.00	\$ 9,424	ENTRY CANOPY-40' X 12'	
METAL ROOF DECKING - 3"/18 GAGE	510.40	SF	\$ 3.85	\$ 1,965		
OUTDOOR COURTYARDS*****	-	LS	\$ -	\$ -		
TEMP SHORING-EXISTING ROOF FRAMING	2.00	LS	\$ 7,500.00	\$ 15,000		
REMOVE EX ROOF FRAMING & DECK	1,254.00	SF	\$ 11.00	\$ 13,794		
WF BEAM FRAMING- NEW PERIM SPANDREL BMS	4.08	TNS	\$ 5,500.00	\$ 22,440	ALLOW 40#/LF	
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDGGE ANGLES	1.00	TNS	\$ 3,450.00	\$ 3,450	ALLOW	
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISC STRUCTURAL REIN/UPGRADE TO ROOF	94,600.00	SF	\$ 0.75	\$ 70,950	SUPPORTS-NEW RTU'S ETC.	
UPGRADE ROOF DECK CONNECTIONS TO EX ROOF FR	94,600.00	SF	\$ 0.50	\$ 47,300	WIND UPLIFT IMPROVEMENTS	
MISC METALS	94,600.00	SF	\$ 2.20	\$ 208,120		
SUBTOTAL- 050000 METALS				\$ 460,189	\$ 4.86	
060000 - WOOD & PLASTICS						
LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	400.00	LF	\$ 4.85	\$ 1,940		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	1,449.00	SF	\$ 20.00	\$ 28,980		
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	156.00	LF	\$ 4.85	\$ 757		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	176.00	SF	\$ 6.00	\$ 1,056		
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	260.00	LF	\$ 4.85	\$ 1,261		
PERIMETER COPING NAILERS/SHIMS	90.00	LF	\$ 8.00	\$ 720		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	1,000.00	SF	\$ 3.00	\$ 3,000		
FRONT ENTRY CANOPY*****	-	LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	208.00	LF	\$ 4.85	\$ 1,009		
PERIMETER COPING NAILERS/SHIMS	104.00	LF	\$ 8.00	\$ 832		
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	208.00	SF	\$ 2.15	\$ 447		
TIMBER COLUMNS & CONNECTION STEEL	4.00	EA	\$ 1,800.00	\$ 7,200		
OUTDOOR COURTYARDS*****	-	LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	408.00	LF	\$ 4.85	\$ 1,979		
PERIMETER COPING NAILERS/SHIMS	204.00	LF	\$ 8.00	\$ 1,632		
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	408.00	SF	\$ 2.15	\$ 877		
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	2,606.00	LF	\$ 4.85	\$ 12,639		
PERIMETER COPING NAILERS/SHIMS	1,303.00	LF	\$ 8.00	\$ 10,424		
PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	-	SF	\$ 1.90	\$ -		
MISC BLOCKING/NAILERS-INTERIOR	94,600.00	SF	\$ 0.55	\$ 52,030		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	94,600.00	SF	\$ 4.50	\$ 425,700	GENERAL MW ALLOWANCE	
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	3.00	EA	\$ 150,000.00	\$ 450,000	COURTROOMS/JUDGES CHAMB	
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	1.00	EA	\$ 150,000.00	\$ 150,000	COMMISSION CHAMBERS	
SUBTOTAL- 060000 WOOD & PLASTICS				\$ 1,152,483	\$ 12.18	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1						
070000 - THERMAL & MOISTURE PROTECTION						
LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
FOUNDATION INSULATION-2" TH RIGID	222.00	SF	\$ 2.80	\$ 622		
PERIMETER FDN DAMPPROOFING	222.00	SF	\$ 2.10	\$ 466		
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH	2,442.00	SF	\$ 5.25	\$ 12,821		
BUILDING INSULATION-TO EXTER WALLS	2,442.00	SF	\$ 2.85	\$ 6,960	2" SPRAY FOAM-STUD CAVITIES	
STUCCO PLASTER WALL VENEER	1,842.00	SF	\$ 17.00	\$ 31,314		
MEMBRANE ROOFING- 60 MIL TPO	1,800.00	SF	\$ 24.00	\$ 43,200	ROOFING/FLASHING/TRIM	
APPLIED FIREPROOFING	-	SF	\$ -	\$ -	N/A-EXCLUDED	
CAULKING & SEALANTS	1,449.00	SF	\$ 0.45	\$ 652		
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
FOUNDATION INSULATION-2" TH RIGID	76.00	SF	\$ 2.80	\$ 213		
PERIMETER FDN DAMPPROOFING	76.00	SF	\$ 2.10	\$ 160		
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH	760.00	SF	\$ 5.25	\$ 3,990		
BUILDING INSULATION-TO EXTER WALLS	760.00	SF	\$ 2.85	\$ 2,166	2" SPRAY FOAM-STUD CAVITIES	
STUCCO PLASTER WALL VENEER	520.00	SF	\$ 17.00	\$ 8,840		
MEMBRANE ROOFING- 60 MIL TPO	308.00	SF	\$ 24.00	\$ 7,392	ROOFING/FLASHING/TRIM	
APPLIED FIREPROOFING	-	SF	\$ -	\$ -	N/A-EXCLUDED	
CAULKING & SEALANTS	176.00	SF	\$ 0.45	\$ 79		
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
FOUNDATION INSULATION-2" TH RIGID	180.00	SF	\$ 2.80	\$ 504		
PERIMETER FDN DAMPPROOFING	180.00	SF	\$ 2.10	\$ 378		
BUILDING INSULATION-TO EXTER WALLS	1,800.00	SF	\$ 4.10	\$ 7,380	3" RIGID CAVITY INSUL	
MEMBRANE ROOFING- 60 MIL TPO	1,000.00	SF	\$ 18.00	\$ 18,000	ROOFING/FLASHING/TRIM	
APPLIED FIREPROOFING	-	SF	\$ -	\$ -	N/A-EXCLUDED	
CAULKING & SEALANTS	1,000.00	SF	\$ 0.45	\$ 450		
FRONT ENTRY CANOPY*****	-	LS	\$ -	\$ -		
METAL WALL PANELS-ACM -4MM TH	270.00	SF	\$ 64.00	\$ 17,280	FASCIA PANELS-CANOPY	
STUCCO VENEER PLASTER SOFFITS	464.00	SF	\$ 16.00	\$ 7,424	CANOPY SOFFITS	
STANDING SEAM METAL ROOFING	464.00	SF	\$ 24.00	\$ 11,136		
APPLIED FIREPROOFING	-	SF	\$ -	\$ -	N/A-EXCLUDED	
OUTDOOR COURTYARDS*****	-	LS	\$ -	\$ -		
FOUNDATION INSULATION-2" TH RIGID	408.00	SF	\$ 2.80	\$ 1,142		
PERIMETER FDN DAMPPROOFING	408.00	SF	\$ 2.10	\$ 857		
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH	4,080.00	SF	\$ 5.25	\$ 21,420		
BUILDING INSULATION-TO EXTER WALLS	4,080.00	SF	\$ 2.85	\$ 11,628	2" SPRAY FOAM-STUD CAVITIES	
STUCCO PLASTER WALL VENEER	3,264.00	SF	\$ 17.50	\$ 57,120	WALLS ABOVE CMU WAINSCOT	
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
BUILDING INSULATION-TO EXTER WALLS	26,060.00	SF	\$ 4.20	\$ 109,452	3" SPRAY FOAM-STUD CAVITIES	
METAL WALL PANELS- HVAC EQUIP SCREENWALL	1,920.00	SF	\$ 24.00	\$ 46,080	80' X 40' ROOF SCREEN AREA	
ROOFING- TEAR-OFF EXISTING	94,600.00	SF	\$ 1.55	\$ 146,630	COMPLETE SYS REMOVAL	
MEMBRANE ROOFING- 60 MIL TPO- W/INSUL FLASHINGS/TRIM	94,600.00	SF	\$ 17.00	\$ 1,608,200	ROOF REPLACEMENT	
ROOF MOUNTED SKYLIGHTS	25.00	EA	\$ 1,525.00	\$ 38,125		
ROOF ACCESS HATCH	2.00	EA	\$ 2,410.00	\$ 4,820		
APPLIED FIREPROOFING	-	SF	\$ -	\$ -	N/A-EXCLUDED	
CAULKING & SEALANTS	94,600.00	SF	\$ 0.45	\$ 42,570		
SUBTOTAL- 070000 THERMAL & MOISTURE PROTECTION				\$ 2,269,470	\$ 23.99	
080000 - DOORS & WINDOWS						
LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
DOORS/FRAMES/HW-INTERIOR	1.00	EA	\$ 2,050.00	\$ 2,050		
MISC INTERIOR WINDOWS/GLAZING	1,449.00	SF	\$ 0.35	\$ 507		
ENTRY STOREFRONTS-ALUM/GLASS	216.00	SF	\$ 60.00	\$ 12,960		
DOORS/FRAMES/HW-STOREFRONTS	14.00	EA	\$ 3,400.00	\$ 47,600	EXTERIOR ENTRIES	
AUTO DOOR OPERATORS	6.00	EA	\$ 1,550.00	\$ 9,300	MAIN ENTRY	
ALUM STOREFRONTS-FIXED	68.00	SF	\$ 56.00	\$ 3,808	EXTER WINDOWS	
ALUM CURTAINWALL-FIXED	324.00	SF	\$ 88.00	\$ 28,512	EXTER WINDOW WALLS	
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
ENTRY STOREFRONTS-ALUM/GLASS	160.00	SF	\$ 60.00	\$ 9,600		
DOORS/FRAMES/HW-STOREFRONTS	2.00	EA	\$ 3,400.00	\$ 6,800	EXTERIOR ENTRIES	
AUTO DOOR OPERATORS	3.00	EA	\$ 1,550.00	\$ 4,650		

OFFCAT COUNTY COURTS & COUNTY SERVICES
OFFCAT COUNTY
CRAIG, CO

31-Jul-20
FCCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 94,600.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-REMODEL & ADDITIONS-R1						
DIVISION 110000 - EQUIPMENT						
LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	1,449.00	SF	\$ 0.25	\$ 362		
SECURITY EQUIPMENT- XRAY MACHINES/MAGNETOMETER	-	LS	\$ -	\$ -		N/A-OWNER FF & E
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	-	SF	\$ 0.25	\$ -		N/A
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	1,000.00	SF	\$ 0.25	\$ 250		
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	94,600.00	SF	\$ 0.25	\$ 23,650		
RESIDENTIAL APPLIANCES	-	EA	\$ 4,500.00	\$ -		N/A-OWNER FF & E
FOOD SERVICE EQUIPMENT-COMMERCIAL	-	LS	\$ -	\$ -		N/A-EXCLUDED
LAUNDRY EQUIPMENT	-	LS	\$ -	\$ -		N/A-EXCLUDED
MEDICAL EQUIPMENT	-	LS	\$ -	\$ -		N/A-OWNER FF & E
AV EQUIPMENT-	-	LS	\$ -	\$ -		N/A-OWNER FF & E
FACILITY MAINT EQUIPMENT	-	LS	\$ -	\$ -		N/A-OWNER FF & E
LOADING DOCK EQUIPMENT	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL: 110000 EQUIPMENT				\$ 24,262	\$ 0.26	
DIVISION 120000 - FURNISHINGS						
LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS	1.00	LS	\$ 6,000.00	\$ 6,000		
WINDOW TREATMENTS-ROLLER SHADES/BLINDS	-	SF	\$ 24.30	\$ -		N/A-EXCLUDED
LOOSE FURNITURE FIXTURES & EQUIPMENT	-	LS	\$ -	\$ -		N/A-OWNER FF & E
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS	1.00	LS	\$ 1,500.00	\$ 1,500		
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
DEFTENTION FURNISHINGS & EQUIPMENT	-	LS	\$ -	\$ -		SEE HM DOORS/FRS/HW
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS	1.00	LS	\$ 2,000.00	\$ 2,000		
WINDOW TREATMENTS-ROLLER SHADES/BLINDS	-	SF	\$ 21.00	\$ -		N/A-OWNER FF & E
DEFTENTION FURNISHINGS & EQUIPMENT	1.00	LS	\$ 65,000.00	\$ 65,000		
SUBTOTAL: 120000 FURNISHINGS				\$ 74,500	\$ 0.79	
DIVISION 130000 - SPECIAL CONSTRUCTION						
LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
PRE-ENGINEERED METAL BUILDING PACKAGE	-	SF	\$ -	\$ -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	\$ -	\$ -		N/A-EXCLUDED
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
PRE-ENGINEERED METAL BUILDING PACKAGE	-	SF	\$ -	\$ -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	\$ -	\$ -		N/A-EXCLUDED
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
PRE-ENGINEERED METAL BUILDING PACKAGE	-	SF	\$ -	\$ -		N/A-EXCLUDED
X-RAY PROTECTION	-	SF	\$ -	\$ -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	\$ -	\$ -		N/A-EXCLUDED
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
X-RAY PROTECTION	-	SF	\$ -	\$ -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL: 130000 SPECIAL CONSTRUCTION				\$ -	\$ -	
DIVISION 140000 - CONVEYING SYSTEMS						
HYDRAULIC ELEVATOR-2 STOP	-	EA	\$ -	\$ -		N/A-EXCLUDED
HC WHEEL CHAIR LIFT	-	EA	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL: 140000 CONVEYING SYSTEMS				\$ -	\$ -	

DESCRIPTION				QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING REMODEL & ADDITIONS-R1									
DIVISION 260000 ELECTRICAL SYSTEMS									
LOBBY VESTIBULE ADDITION*****				-	LS	\$ -	\$ -		
ELECTRICAL WORK				1,449.00	SF	\$ 28.00	\$ 40,572		
CSU EXTENSION LOBBY VESTIBULE ADDITION*****				-	LS	\$ -	\$ -		
ELECTRICAL WORK				176.00	SF	\$ 24.00	\$ 4,224		
VEHICLE SALLYPORT ADDITION*****				-	LS	\$ -	\$ -		
ELECTRICAL WORK				1,000.00	SF	\$ 24.00	\$ 24,000		
BUILDING REMODEL*****				-	LS	\$ -	\$ -		
ELECTRICAL WORK				94,600.00	SF	\$ 32.50	\$ 3,074,500		
EQUIPMENT- SECONDARY				94,600.00	SF	\$ -	INCLUDED		
EMERGENCY GENERATOR				1.00	LS	\$ 75,000.00	\$ 75,000		
SITE ELECTRICAL-LIGHTING/POWER				1.00	LS	\$ 350,000.00	\$ 350,000		
POWER DISTRIBUTION				94,600.00	SF	\$ -	INCLUDED		
LIGHTING & CONTROLS				94,600.00	SF	\$ -	INCLUDED		
FIRE ALARM SYSTEM				94,600.00	SF	\$ -	INCLUDED		
SECURITY ELECTRONICS				1.00	LS	\$ 150,000.00	\$ 150,000		
DATA/COMMUNICATIONS-ROUGH IN				94,600.00	SF	\$ -	INCLUDED		
ACCESS CONTROL-ROUGH IN				94,600.00	SF	\$ -	INCLUDED		
SECURITY SYS-ROUGH IN				94,600.00	SF	\$ -	INCLUDED		
AV SYSTEM-ROUGH IN				94,600.00	SF	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- ELECTRICAL SYSTEMS							\$ 3,718,296	\$ 39.31	
DIVISION 270000 SPECIAL/LV SYSTEMS									
LOBBY VESTIBULE ADDITION*****				-	LS	\$ -	\$ -		
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP				1,449.00	SF	\$ 2.25	\$ 3,260		
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP				1,449.00	SF	\$ 12.00	\$ 17,388		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT				1,449.00	SF	\$ 3.80	\$ 5,506		
BUILDING REMODEL*****				-	LS	\$ -	\$ -		
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP				94,600.00	SF	\$ 3.45	\$ 326,370		
AV SYSTEM-WIRING/DEVICES/EQUIPMENT- COURT ROOMS				-	EA	\$ 75,000.00	\$ -		N/A-OWNER FF & E
AV SYSTEM-WIRING/DEVICES/EQUIPMENT- BOCC CHAMBERS				-	EA	\$ 75,000.00	\$ -		N/A-OWNER FF & E
AV SYSTEM-WIRING/DEVICES/EQUIPMENT- CONF / TRAINING RMS				-	EA	\$ 25,000.00	\$ -		N/A-OWNER FF & E
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP				94,600.00	SF	\$ 1.10	\$ 104,060		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT				94,600.00	SF	\$ 2.30	\$ 217,580		
SUBTOTAL- SPECIAL/LV SYSTEMS							\$ 674,164	\$ 7.13	
DIVISION 310000 SITE DEVELOPMENT									
SITE PREPARATION / EROSION & SEDIMENT CONTROL				-	AC	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CLEARING/SITE DEMO				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING / CUT & FILL				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAVEMENT BASES				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE WATER SERVICE				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
STORM SEWER-MANHOLE/DRAINS/PIPING				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MANHOLE/PIPING				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RECEPT/BENCHES				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
LANDSCAPING				-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SUBTOTAL- SITE DEVELOPMENT							\$ -	\$ -	
SUBTOTAL-DIRECT COST-							\$22,228,851	\$ 234.98	

24-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL
BGSF 108,363.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-SITE DEVELOPMENT						
DIVISION 310000 SITE DEVELOPMENT						
SITE PREPARATION / EROSION & SEDIMENT CONTROL	7.20	AC	\$ 285,000.00	\$ 2,052,000		
SITE CLEARING/SITE DEMO	1.00	LS	\$ -	INCLUDED		
EARTHWORK / SITE GRADING / CUT & FILL	1.00	LS	\$ -	INCLUDED		
IMPORTED BASE COURSE- PAVEMENT BASES	1.00	LS	\$ -	INCLUDED		
DOMESTIC/FIRE WATER SERVICE	1.00	LS	\$ -	INCLUDED		NEW DOMESTIC WATER SERV
STORM SEWER -MANHOLE/DRAINS/PIPING	1.00	LS	\$ -	INCLUDED		NEW STORM PIPING/STRUCT
SANITARY SEWER SERVICE-MANHOLE/PIPING	1.00	LS	\$ -	INCLUDED		NEW SANITARY SERVICE
NATURAL GAS SERVICE	-	LS	\$ -	\$ -		N/A-EXISTING TO REMAIN
ASPHALT PAVMENT	1.00	LS	\$ -	INCLUDED		NEW REPLACMENT PAVING
SITE CONCRETE-FLATWORK	1.00	LS	\$ -	INCLUDED		WALKS/CONC PAVEMENT
SITE CONCRETE-MISC	1.00	LS	\$ -	INCLUDED		
SITE FURNISHINGS- TRASH RECEP/BENCHES	1.00	LS	\$ -	INCLUDED		
LANDSCAPING	1.00	LS	\$ -	INCLUDED		WITHIN SITE LIMITS
SUBTOTAL- SITE DEVELOPMENT				\$ 2,052,000	\$ 18.94	
SUBTOTAL-DIRECT COST-				\$ 2,052,000	\$ 18.94	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 1,000.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
VEHICLE SALLYPORT ADDITION						
020000 - SITEWORK-EXISTING CONDITIONS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
EXTERIOR DEMOLITION*****	-	LS	\$ -	\$ -		
CUT NEW OPENINGS IN EX CMU WALLS-DOORS	1.00	EA	\$ 420.00	\$ 420		
SUBTOTAL- 020000 SITEWORK-EXISTING CONDITIONS				\$ 420	\$ 0.42	
020000 - SITEWORK-BUILDING						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	60.00	CY	\$ 8.50	\$ 510		EXCAV TO FROST DEPTH-36"
OVER-EX & REPLACE- COLUMN & WALL FOOTINGS	60.00	CY	\$ 71.40	\$ 4,284		OVER-EX/REPLACE/DISPOSE 36"
FOUNDATION EXCAV/BF-DISPOSE UNSUITABLE	60.00	CY	\$ 13.00	\$ 780		DISPOSE OFFSITE
IMPORTED FILL TO SLAB ON GRADE	133.33	CY	\$ 62.00	\$ 8,267		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	1,000.00	SF	\$ 1.38	\$ 1,378		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	1,100.00	SF	\$ 0.68	\$ 748		15 MIL STEGO
SUBTOTAL- 020000 SITEWORK-BUILDING				\$ 15,966	\$ 15.97	
022400 - DEEP FOUNDATIONS						
HELICAL PILES- MOBILIZE/DEMOP	-	DY	\$ 4,500.00	\$ -		
HELICAL PILES- 50 FT BID BID LENGTH	-	LF	\$ 1,650.00	\$ -		N/A-EXCLUDED
PILE TESTING	-	LS	\$ 5,000.00	\$ -		
LAYOUT	-	HRS	\$ 72.00	\$ -		
SUBTOTAL- 022400 DEEP FOUNDATIONS				\$ -	\$ -	
030000 - CONCRETE						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS	7.00	CY	\$ 490.00	\$ 3,430		24" X 12"
CONCRETE FOUNDATIONS-PERIM STEM WALLS	9.31	CY	\$ 745.00	\$ 6,936		16" X 24" H
CONCRETE FOUNDATIONS-COL FOOTINGS	3.89	CY	\$ 490.00	\$ 1,906		5' X 5' X 1' -COL FTGS
MISC PITS/FOUNDATIONS	1.00	LS	\$ 1,500.00	\$ 1,500		
SLAB ON GRADE-6" TH	912.00	SF	\$ 7.55	\$ 6,886		
SUBTOTAL- 030000 CONCRETE				\$ 20,657	\$ 20.66	
040000 - MASONRY & STONE WORK						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
EXTERIOR CMU WALLS-8" TH	1,800.00	SF	\$ 22.60	\$ 40,680		8" BACKUP TO VENEER
EXTERIOR WALLS-VENEER -4" ARCH'L CMU	1,800.00	SF	\$ 18.45	\$ 33,210		
SUBTOTAL- 040000 MASONRY				\$ 73,890	\$ 73.89	
050000 - METALS						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
STEEL JOIST FRAMING- ROOF-3.5#/SF	1.75	TNS	\$ 2,750.00	\$ 4,813		
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDGGE ANGLES	1.00	TNS	\$ 3,450.00	\$ 3,450		ALLOW
METAL ROOF DECKING - 1.5"/20 GAGE	1,100.00	SF	\$ 2.95	\$ 3,245		
MISC METALS	1,000.00	SF	\$ 3.75	\$ 3,750		
SUBTOTAL- 050000 METALS				\$ 15,258	\$ 15.26	
060000 - WOOD & PLASTICS						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	260.00	LF	\$ 4.85	\$ 1,261		
PERIMETER COPING NAILERS/SHIMS	90.00	LF	\$ 8.00	\$ 720		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	1,000.00	SF	\$ 3.00	\$ 3,000		
SUBTOTAL- 060000 WOOD & PLASTICS				\$ 4,981	\$ 4.98	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 1,000.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
VEHICLE SALLYPORT ADDITION						
070000 - THERMAL & MOISTURE PROTECTION						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
FOUNDATION INSULATION-2" TH RIGID	180.00	SF	\$ 2.80	\$ 504		
PERIMETER FDN DAMPPROOFING	180.00	SF	\$ 2.10	\$ 378		
BUILDING INSULATION-TO EXTER WALLS	1,800.00	SF	\$ 4.10	\$ 7,380		3" RIGID CAVITY INSUL
MEMBRANE ROOFING- 60 MIL TPO	1,000.00	SF	\$ 18.00	\$ 18,000		ROOFING/FLASHING/TRIM
APPLIED FIREPROOFING	-	SF	\$ -	\$ -		N/A-EXCLUDED
CAULKING & SEALANTS	1,000.00	SF	\$ 0.45	\$ 450		
SUBTOTAL- 070000 THERMAL & MOISTURE PROTECTION				\$ 26,712	\$ 26.71	
080000 - DOORS & WINDOWS						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
DOORS/FRAMES/HW-INTERIOR	2.00	EA	\$ 5,500.00	\$ 11,000		SECURITY RATED OPENING
DOORS/FRAMES/HW-EXTERIOR	1.00	EA	\$ 5,750.00	\$ 5,750		SECURITY RATED OPENING
OVERHEAD DOORS- COILING/INSUL/MOTOR OP	2.00	EA	\$ 12,000.00	\$ 24,000		HIGH SPEED COILING DOORS
SUBTOTAL- 080000 DOORS & WINDOWS				\$ 40,750	\$ 40.75	
090000 - FINISHES						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	1,000.00	SF	\$ 22.00	\$ 22,000		
SUBTOTAL- 090000 FINISHES				\$ 22,000	\$ 22.00	
DIVISION 100000 - SPECIALTIES						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
MISCELLANEOUS SPECIALTIES	1,000.00	SF	\$ 2.40	\$ 2,400		
SUBTOTAL- 100000 SPECIALTIES				\$ 2,400	\$ 2.40	
DIVISION 110000 - EQUIPMENT						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	1,000.00	SF	\$ 0.25	\$ 250		
SUBTOTAL- 110000 EQUIPMENT				\$ 250	\$ 0.25	
DIVISION 120000 - FURNISHINGS						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
DEETENTION FURNISHINGS & EQUIPMENT	-	LS	\$ -	\$ -		SEE HM DOORS/TRS/HW
SUBTOTAL- 120000 FURNISHINGS				\$ -	\$ -	
DIVISION 130000 - SPECIAL CONSTRUCTION						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
PRE-ENGINEERED METAL BUILDING PACKAGE	-	SF	\$ -	\$ -		N/A-EXCLUDED
X-RAY PROTECTION	-	SF	\$ -	\$ -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 130000 SPECIAL CONSTRUCTION				\$ -	\$ -	
DIVISION 140000 - CONVEYING SYSTEMS						
HYDRAULIC ELEVATOR-2 STOP	-	EA	\$ -	\$ -		N/A-EXCLUDED
HC WHEEL CHAIR LIFT	-	EA	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 140000 CONVEYING SYSTEMS				\$ -	\$ -	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 1,000.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
VEHICLE SALLYPORT ADDITION						
DIVISION 210000 - FIRE SUPPRESSION SYSTEMS						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
FIRE SPRINKLERS- WET PIPE	1,000.00	SF	\$ 6.50	\$ 6,500		
FIRE SPRINKLERS- DRY TYPE	-	SF	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 210000 FIRE SUPPRESSION SYSTEMS				\$ 6,500	\$ 6.50	
DIVISION 230000 PLUMBING SYSTEMS						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
PLUMBING SYSTEMS	1,000.00	SF	\$ 12.00	\$ 12,000		
SUBTOTAL- PLUMBING SYSTEMS				\$ 12,000	\$ 12.00	
DIVISION 24 HVAC SYSTEMS						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
HVAC SYSTEM-	1,000.00	SF	\$ 12.00	\$ 12,000		
SUBTOTAL- HVAC SYSTEMS				\$ 12,000	\$ 12.00	
DIVISION 260000 ELECTRICAL SYSTEMS						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
ELECTRICAL WORK	1,000.00	SF	\$ 24.00	\$ 24,000		
SUBTOTAL- ELECTRICAL SYSTEMS				\$ 24,000	\$ 24.00	
DIVISION 270000 SPECIAL/LV SYSTEMS						
VEHICLE SALLYPORT ADDITION*****	-	LS	\$ -	\$ -		
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP	1,000.00	SF	\$ 2.25	\$ 2,250		
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP	1,000.00	SF	\$ 12.00	\$ 12,000		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT	1,000.00	SF	\$ 3.80	\$ 3,800		
SUBTOTAL- SPECIAL/LV SYSTEMS				\$ 18,050	\$ 18.05	
DIVISION 310000 SITE DEVELOPMENT						
SITE PREPARATION / EROSION & SEDIMENT CONTROL	-	AC	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CLEARING/SITE DEMO	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING / CUT & FILL	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAVEMENT BASES	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE WATER SERVICE	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
STORM SEWER -MANHOLE/DRAINS/PIPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MANHOLE/PIPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RECP/BENCHES	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
LANDSCAPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SUBTOTAL- SITE DEVELOPMENT				\$ -	\$ -	
SUBTOTAL-DIRECT COST-				\$ 295,834	\$ 295.83	
CONTINGENCY/BONDS/INSURANCE/FEES				\$ 44,020	\$ 44.02	
TOTAL ESTIMATED CONSTRUCTION COST				\$ 339,854	\$ 339.85	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 176.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
CSU EXTENSION OFFICE LOBBY ADDITION						
020000 - SITEWORK-EXISTING CONDITONS						
EXTERIOR DEMOLITION*****	-	LS	\$ -	\$ -		
CUT NEW OPENINGS IN EX CMU WALLS-DOORS	1.00	EA	\$ 420.00	\$ 420		
SUBTOTAL- 020000 SITEWORK-EXISTING CONDITONS				\$ 420	\$ 2.39	
020000 - SITEWORK-BUILDING						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	104.53	CY	\$ 8.50	\$ 889		EXCAV TO FROST DEPTH-36"
IMPORTED FILL TO SLAB ON GRADE / FOOTINGS	104.53	CY	\$ 62.00	\$ 6,481		ASSUME 36" STRUC'L FILL
DRAINAGE BASE TO SLABS ON GRADE	176.00	SF	\$ 1.38	\$ 242		6" CLASS 6 BASE
VAPOR BARRIER TO SLABS ON GRADE	193.60	SF	\$ 0.68	\$ 132		15 MIL STEGO
SUBTOTAL- 020000 SITEWORK-BUILDING				\$ 7,744	\$ 44.00	
022400 - DEEP FOUNDATIONS						
HELICAL PILES- MOBILIZE/DEMOR	-	DY	\$ 4,500.00	\$ -		
HELICAL PILES- 50 FT BID LENGTH	-	LF	\$ 1,650.00	\$ -		N/A-EXCLUDED
PILE TESTING	-	LS	\$ 5,000.00	\$ -		
LAYOUT	-	HRS	\$ 72.00	\$ -		
SUBTOTAL- 022400 DEEP FOUNDATIONS				\$ -	\$ -	
030000 - CONCRETE						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS	2.96	CY	\$ 490.00	\$ 1,448		24" X 12"
CONCRETE FOUNDATIONS-PERIM STEM WALLS	3.93	CY	\$ 745.00	\$ 2,929		16" X 24" H
CONCRETE FOUNDATIONS-COL FOOTINGS	3.89	CY	\$ 490.00	\$ 1,906		5' X 5' X 1' -COL FTGS
SLAB ON GRADE-5" TH	147.00	SF	\$ 6.60	\$ 970		
SUBTOTAL- 030000 CONCRETE				\$ 7,252	\$ 41.21	
040000 - MASONRY & STONE WORK						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
EXTERIOR WALLS-VENER -2" MANUF THINSTONE	240.00	SF	\$ 38.00	\$ 9,120		
SUBTOTAL- 040000 MASONRY				\$ 9,120	\$ 51.82	
050000 - METALS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
STRUCTURAL STEEL COLUMNS-1.5# /SF	0.13	TNS	\$ 3,350.00	\$ 442		
STEEL WF FRAMING- ROOF-10# /SF	0.88	TNS	\$ 3,210.00	\$ 2,825		
STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDDGE ANGLES	0.25	TNS	\$ 3,450.00	\$ 863		ALLOW
STRUCTURAL STEEL FRAMING- BRACE FRAMING	0.50	TNS	\$ 3,385.00	\$ 1,693		1000#/LOCATION
METAL ROOF DECKING - 1.5"/20 GAGE	338.80	SF	\$ 2.95	\$ 999		
MISC METALS	176.00	SF	\$ 3.75	\$ 660		
SUBTOTAL- 050000 METALS				\$ 7,481	\$ 42.51	
060000 - WOOD & PLASTICS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
PERIMETER ROOF BLOCKING-TREATED 2X	156.00	LF	\$ 4.85	\$ 757		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	176.00	SF	\$ 6.00	\$ 1,056		
SUBTOTAL- 060000 WOOD & PLASTICS				\$ 1,813	\$ 10.30	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 176.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
CSU EXTENSION OFFICE LOBBY ADDITION						
070000 - THERMAL & MOISTURE PROTECTION						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
FOUNDATION INSULATION-2" TH RIGID	76.00	SF	\$ 2.80	\$ 213		
PERIMETER FDN DAMPPROOFING	76.00	SF	\$ 2.10	\$ 160		
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH	760.00	SF	\$ 5.25	\$ 3,990		
BUILDING INSULATION-TO EXTER WALLS	760.00	SF	\$ 2.85	\$ 2,166		2" SPRAY FOAM-STUD CAVITIES
STUCCO PLASTER WALL VENEER	520.00	SF	\$ 17.00	\$ 8,840		
MEMBRANE ROOFING- 60 MIL TPO	308.00	SF	\$ 24.00	\$ 7,392		ROOFING/FLASHING/TRIM
APPLIED FIREPROOFING	-	SF	\$ -	\$ -		N/A-EXCLUDED
CAULKING & SEALANTS	176.00	SF	\$ 0.45	\$ 79		
SUBTOTAL- 070000 THERMAL & MOISTURE PROTECTION				\$ 22,840	\$ 129.77	
080000 - DOORS & WINDOWS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
ENTRY STOREFRONTS-ALUM/GLASS	160.00	SF	\$ 60.00	\$ 9,600		
DOORS/FRAMES/HW-STOREFRONTS	2.00	EA	\$ 3,400.00	\$ 6,800		EXTERIOR ENTRIES
AUTO DOOR OPERATORS	3.00	EA	\$ 1,550.00	\$ 4,650		
SUBTOTAL- 080000 DOORS & WINDOWS				\$ 21,050	\$ 119.60	
090000 - FINISHES						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
EXTERIOR WALLS-6" LG FRAMING/SHEATHING/DW	760.00	SF	\$ 14.40	\$ 10,944		
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	176.00	SF	\$ 28.00	\$ 4,928		
SUBTOTAL- 090000 FINISHES				\$ 15,872	\$ 90.18	
DIVISION 100000 - SPECIALTIES						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
MISCELLANEOUS SPECIALTIES	176.00	SF	\$ 2.40	\$ 422		
SUBTOTAL- 100000 SPECIALTIES				\$ 422	\$ 2.40	
DIVISION 110000 - EQUIPMENT						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	-	SF	\$ 0.25	\$ -		N/A
SUBTOTAL- 110000 EQUIPMENT				\$ -	\$ -	
DIVISION 120000 - FURNISHINGS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS	1.00	LS	\$ 1,500.00	\$ 1,500		
SUBTOTAL- 120000 FURNISHINGS				\$ 1,500	\$ 8.52	
DIVISION 130000 - SPECIAL CONSTRUCTION						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
PRE-ENGINEERED METAL BUILDING PACKAGE	-	SF	\$ -	\$ -		N/A-EXCLUDED
PHOTOVOLTAIIC POWER SYSTEM	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 130000 SPECIAL CONSTRUCTION				\$ -	\$ -	
DIVISION 140000 - CONVEYING SYSTEMS						
HYDRAULIC ELEVATOR-2 STOP	-	EA	\$ -	\$ -		N/A-EXCLUDED
HC WHEEL CHAIR LIFT	-	EA	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 140000 CONVEYING SYSTEMS				\$ -	\$ -	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 176.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
CSU EXTENSION OFFICE LOBBY ADDITION						
DIVISION 210000 - FIRE SUPPRESSION SYSTEMS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
FIRE SPRINKLERS- WET PIPE	176.00	SF	\$ 4.20	\$ 739		
FIRE SPRINKLERS- DRY TYPE	-	SF	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 210000 FIRE SUPPRESSION SYSTEMS				\$ 739	\$ 4.20	
DIVISION 230000 PLUMBING SYSTEMS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
PLUMBING SYSTEMS	176.00	SF	\$ 6.00	\$ 1,056		
SUBTOTAL- PLUMBING SYSTEMS				\$ 1,056	\$ 6.00	
DIVISION 24 HVAC SYSTEMS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
HVAC SYSTEM-	176.00	SF	\$ 16.00	\$ 2,816		
SUBTOTAL- HVAC SYSTEMS				\$ 2,816	\$ 16.00	
DIVISION 260000 ELECTRICAL SYSTEMS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
ELECTRICAL WORK	176.00	SF	\$ 24.00	\$ 4,224		
SUBTOTAL- ELECTRICAL SYSTEMS				\$ 4,224	\$ 24.00	
DIVISION 270000 SPECIAL/LV SYSTEMS						
CSU EXTENSION LOBBY VESTIBULE ADDITION*****	-	LS	\$ -	\$ -		
DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP	176.00	SF	\$ 2.25	\$ 396		
ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP	176.00	SF	\$ 12.00	\$ 2,112		
SECURITY SYS-WIRING/DEVICES/EQUIPMENT	176.00	SF	\$ 3.80	\$ 669		
SUBTOTAL- SPECIAL/LV SYSTEMS				\$ 3,177	\$ 18.05	
DIVISION 310000 SITE DEVELOPMENT						
SITE PREPARATION / EROSION & SEDIMENT CONTROL	-	AC	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CLEARING/SITE DEMO	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING / CUT & FILL	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAVEMENT BASES	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/FIRE WATER SERVICE	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
STORM SEWER -MANHOLE/DRAINS/PIPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MANHOLE/PIPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RECEP/BENCHES	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
LANDSCAPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SUBTOTAL- SITE DEVELOPMENT				\$ -	\$ -	
SUBTOTAL-DIRECT COST-				\$ 107,526	\$ 610.94	
CONTINGENCY/BONDS/INSURANCE/FEES				\$ 16,000	\$ 90.91	
TOTAL ESTIMATED CONSTRUCTION COST				\$ 123,526	\$ 701.85	

MOFFATT COUNTY COURTS & COUNTY SERVICES
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 1,142.00

	DESCRIPTION		QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
	KMART BUILDING-INTERIOR COURTYARDS								
	020000 - SITEWORK-EXISTING CONDITONS								
	BUILDING REMODEL*****	-	LS	\$	-		\$ -		
	INTERIOR DEMOLITION*****	-	LS	\$	-		\$ -		
	SAWCUT/REMOVE EXISTING SLABS	1,600.00	SF	\$	6.00		\$ 9,600		NEW EXTER COURTYARDS
	SUBTOTAL- 020000 SITEWORK-EXISTING CONDITONS						\$ 9,600	\$ 8.41	
	020000 - SITEWORK-BUILDING								
	OUTDOOR COURTYARDS*****	-	LS	\$	-		\$ -		
	FOUNDATION EXCAV-COLUMN & WALL FOOTINGS	60.00	CY	\$	8.50		\$ 510		EXCAV TO FROST DEPTH-36"
	OVER-EX & REPLACE- COLUMN & WALL FOOTINGS	60.00	CY	\$	71.40		\$ 4,284		OVER-EX/REPLACE/DISPOSE 36"
	FOUNDATION EXCAV/BF-DISPOSE UNSUITABLE	60.00	CY	\$	13.00		\$ 780		DISPOSE OFF-SITE
	SUBTOTAL- 020000 SITEWORK-BUILDING						\$ 5,574	\$ 4.88	
	022400 - DEEP FOUNDATIONS								
	HELICAL PILES- MOBILIZE/DEMOR	-	DY	\$	4,500.00		\$ -		
	HELICAL PILES- 50 FT BID LENGTH	-	LF	\$	1,650.00		\$ -		N/A-EXCLUDED
	PILE TESTING	-	LS	\$	5,000.00		\$ -		
	LAYOUT	-	HRS	\$	72.00		\$ -		
	SUBTOTAL- 022400 DEEP FOUNDATIONS						\$ -	\$ -	
	030000 - CONCRETE								
	OUTDOOR COURTYARDS*****	-	LS	\$	-		\$ -		
	CONCRETE FOUNDATIONS-PERIM WALL FOOTINGS	15.87	CY	\$	490.00		\$ 7,775		24" X 12"
	CONCRETE FOUNDATIONS-PERIM STEM WALLS	21.10	CY	\$	745.00		\$ 15,721		16" X 24" H
	CONCRETE FOUNDATIONS-COL FOOTINGS	16.80	CY	\$	490.00		\$ 8,232		6' X 6' X 1.5' -COL FTGS
	CONCRETE FOUNDATIONS-COL PILLASTERS AT WALLS	8.00	EA	\$	390.00		\$ 3,120		
	MISC PITS/FOUNDATIONS	1.00	LS	\$	1,500.00		\$ 1,500		
	SLAB ON GRADE-5" TH	1,142.00	SF	\$	6.35		\$ 7,252		
	SUBTOTAL- 030000 CONCRETE						\$ 43,600	\$ 38.18	
	040000 - MASONRY & STONE WORK								
	OUTDOOR COURTYARDS*****	-	LS	\$	-		\$ -		
	EXTERIOR WALLS-VENEER -4" ARCH'L CMU	816.00	SF	\$	18.45		\$ 15,055		48" HIGH WAINSCOT
	SUBTOTAL- 040000 MASONRY						\$ 15,055	\$ 13.18	
	050000 - METALS								
	OUTDOOR COURTYARDS*****	-	LS	\$	-		\$ -		
	TEMP SHORING-EXISTING ROOF FRAMING	2.00	LS	\$	7,500.00		\$ 15,000		
	REMOVE EX ROOF FRAMING & DECK	1,254.00	SF	\$	11.00		\$ 13,794		
	WF BEAM FRAMING- NEW PERIM SPANDREL BMS	4.08	TNS	\$	5,500.00		\$ 22,440		ALLOW 40M/LF
	STRUCTURAL STEEL FRAMING- HUNG LINTELS/POUR STOPS/DECK EDGE ANGLES	1.00	TNS	\$	3,450.00		\$ 3,450		ALLOW
	SUBTOTAL- 050000 METALS						\$ 54,684	\$ 47.88	
	060000 - WOOD & PLASTICS								
	OUTDOOR COURTYARDS*****	-	LS	\$	-		\$ -		
	PERIMETER ROOF BLOCKING-TREATED 2X	408.00	LF	\$	4.85		\$ 1,979		
	PERIMETER COPING NAILERS/SHIMS	204.00	LF	\$	8.00		\$ 1,632		
	PLYWOOD SHEATHING-BACK SIDE OF PARAPETS	408.00	SF	\$	2.15		\$ 877		
	SUBTOTAL- 060000 WOOD & PLASTICS						\$ 4,488	\$ 3.93	

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-INTERIOR COURTYARDS						
070000 - THERMAL & MOISTURE PROTECTION						
OUTDOOR COURTYARDS*****	-	LS	\$ -	\$ -		
FOUNDATION INSULATION-2" TH RIGID	408.00	SF	\$ 2.80	\$ 1,142		
PERIMETER FDN DAMPPROOFING	408.00	SF	\$ 2.10	\$ 857		
CI WEATHER BARRIER/INSULATION- XARMOR-2" TH	4,080.00	SF	\$ 5.25	\$ 21,420		
BUILDING INSULATION-TO EXTER WALLS	4,080.00	SF	\$ 2.85	\$ 11,628		2" SPRAY FOAM-STUD CAVITIES
STUCCO PLASTER WALL VENEER	3,264.00	SF	\$ 17.50	\$ 57,120		WALLS ABOVE CMU WAINSCOT
SUBTOTAL- 070000 THERMAL & MOISTURE PROTECTION				\$ 92,167	\$ 80.71	
080000 - DOORS & WINDOWS						
OUTDOOR COURTYARDS*****	-	LS	\$ -	\$ -		
ALUM STOREFRONT WINDOWS-FIXED-6' X 8'	768.00	SF	\$ 58.00	\$ 44,544		NEW EXTER PUNCHED WINDOWS
ENTRY STOREFRONTS-ALUM/GLASS	64.00	SF	\$ 60.00	\$ 3,840		
DOORS/FRAMES/HW-STOREFRONTS	2.00	EA	\$ 3,400.00	\$ 6,800		ACCESS TO COURTYARDS
SUBTOTAL- 080000 DOORS & WINDOWS				\$ 55,184	\$ 48.32	
090000 - FINISHES						
OUTDOOR COURTYARDS*****	-	LS	\$ -	\$ -		
EXTERIOR WALLS-6" I.G FRAMING/SHEATHING/DW	4,488.00	SF	\$ 14.40	\$ 64,627		
SUBTOTAL- 090000 FINISHES				\$ 64,627	\$ 56.59	
DIVISION 230000 PLUMBING SYSTEMS						
OUTDOOR COURTYARDS*****	-	LS	\$ -	\$ -		
PLUMBING SYSTEMS-AREA DRAINS	2.00	EA	\$ 4,500.00	\$ 9,000		
SUBTOTAL- PLUMBING SYSTEMS				\$ 9,000	\$ 7.88	
DIVISION 310000 SITE DEVELOPMENT						
SITE PREPARATION / EROSION & SEDIMENT CONTROL	-	AC	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CLEARING/SITE DEMO	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
EARTHWORK / SITE GRADING / CUT & FILL	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
IMPORTED BASE COURSE- PAVEMENT BASES	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
DOMESTIC/HOT WATER SERVICE	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
STORM SEWER -MANHOLE/ DRAINS/PIPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SANITARY SEWER SERVICE-MANHOLE/PIPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
NATURAL GAS SERVICE	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE CONCRETE-FLATWORK	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SITE FURNISHINGS- TRASH RECP/BENCHES	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
LANDSCAPING	-	LS	\$ -	\$ -		N/A-SEE SITE DEV ESTIMATE
SUBTOTAL- SITE DEVELOPMENT				\$ -	\$ -	
SUBTOTAL-DIRECT COST-				\$ 353,979	\$ 309.96	
CONTINGENCY/BONDS/INSURANCE/FEES				\$ 52,672	\$ 46.12	
TOTAL ESTIMATED CONSTRUCTION COST				\$ 406,652	\$ 356.09	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 2,100.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-BUILD OUT OF 1 COURTROOM						
050000 - METALS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISC METALS	2,100.00	SF	\$ 2.20	\$ 4,620		
SUBTOTAL- 050000 METALS				\$ 4,620	\$ 2.20	
060000 - WOOD & PLASTICS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISC BLOCKING/NAILERS-INTERIOR	2,100.00	SF	\$ 0.55	\$ 1,155		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	1.00	EA	\$ 150,000.00	\$ 150,000		COURTROOMS/JUDGES CHAMB
SUBTOTAL- 060000 WOOD & PLASTICS				\$ 151,155	\$ 71.98	
070000 - THERMAL & MOISTURE PROTECTION						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
CAULKING & SEALANTS	2,100.00	SF	\$ 0.45	\$ 945		
SUBTOTAL- 070000 THERMAL & MOISTURE PROTECTION				\$ 945	\$ 0.45	
080000 - DOORS & WINDOWS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
DOORS/FRAMES/HW-INTERIOR	2.00	EA	\$ 2,050.00	\$ 4,100		
MISC INTERIOR WINDOWS/GLAZING	2,100.00	SF	\$ 0.55	\$ 1,155		
SUBTOTAL- 080000 DOORS & WINDOWS				\$ 5,255	\$ 2.50	
090000 - FINISHES						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
FLOOR/WALL/BASE/CEILING FINISHES	2,100.00	SF	\$ 30.00	\$ 63,000		
SUBTOTAL- 090000 FINISHES				\$ 63,000	\$ 30.00	
DIVISION 100000 - SPECIALTIES						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISCELLANEOUS SPECIALTIES	2,100.00	SF	\$ 0.50	\$ 1,050		
SUBTOTAL- 100000 SPECIALTIES				\$ 1,050	\$ 0.50	
DIVISION 110000 - EQUIPMENT						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	2,100.00	SF	\$ 0.25	\$ 525		
SUBTOTAL- 110000 EQUIPMENT				\$ 525	\$ 0.25	
DIVISION 120000 - FURNISHINGS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS	-	LS	\$ 2,000.00	\$ -		N/A-EXCLUDED
WINDOW TREATMENTS-ROLLER SHADES/BLINDS	-	SF	\$ 21.00	\$ -		N/A-OWNER FF & F
DEETENTION FURNISHINGS & EQUIPMENT	-	LS	\$ 65,000.00	\$ -		N/A-EXCLUDED
SUBTOTAL- 120000 FURNISHINGS				\$ -	\$ -	
DIVISION 130000 - SPECIAL CONSTRUCTION						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
X-RAY PROTECTION	-	SF	\$ -	\$ -		N/A-EXCLUDED
PHOTOVOLTAIC POWER SYSTEM	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 130000 SPECIAL CONSTRUCTION				\$ -	\$ -	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 2,100.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING-BUILD OUT OF 1 COURTROOM						
DIVISION 140000 - CONVEYING SYSTEMS						
HYDRAULIC ELEVATOR-2 STOP	-	EA	\$ -	\$ -		N/A-EXCLUDED
HC WHEEL CHAIR LIFT	-	EA	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 140000 CONVEYING SYSTEMS				\$ -	\$ -	
DIVISION 210000 - FIRE SUPPRESSION SYSTEMS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
FIRE SPRINKLERS- WET PIPE	-	SF	\$ 1.85	\$ -		EXISTING SYSTEMS
SUBTOTAL- 210000 FIRE SUPPRESSION SYSTEMS				\$ -	\$ -	
DIVISION 230000 PLUMBING SYSTEMS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
PLUMBING SYSTEMS	2,100.00	SF	\$ 2.00	\$ 4,200		
PLUMBING EQUIPMENT	2,100.00	SF	\$ -			INCLUDED
DOMESTIC WATER	2,100.00	SF				INCLUDED
STORM / ROOF DRAINAGE	2,100.00	SF	\$ -			N/A- SLOPED TO GUTTERS
SANITARY SEWER-UG	2,100.00	SF				INCLUDED
WASTE & VENT- ABOVE GRADE	2,100.00	SF				INCLUDED
NAT GAS PIPING	2,100.00	SF				INCLUDED
FIXTURES	2,100.00	SF				INCLUDED
PLUMBING INSULATION	2,100.00	SF				INCLUDED
SUBTOTAL- PLUMBING SYSTEMS				\$ 4,200	\$ 2.00	
DIVISION 24 HVAC SYSTEMS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
HVAC SYSTEM-	2,100.00	SF	\$ 14.00	\$ 29,400		
EQUIPMENT	2,100.00	SF		\$ -		
DUCTWORK & ACCESSORIES	2,100.00	SF		\$ -		
HVAC HYDRONIC PIPING SYS	2,100.00	SF	\$ -	\$ -		
HVAC INSULATION	2,100.00	SF		\$ -		
HVAC CONTROLS	2,100.00	SF		\$ -		
TEST & BALANCE	2,100.00	SF		\$ -		
GEO THERMAL WELL FIELD	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- HVAC SYSTEMS				\$ 29,400	\$ 14.00	

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF 6,600.00

DESCRIPTION	QTY	U/M	UNIT PRICE	TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING- BUILD OUT OF CSU EXTENSION & HEALTH DEPTS						
050000 - METALS						
MISC METALS	6,600.00	SF	\$ 3.75	\$ 24,750		
SUBTOTAL- 050000 METALS				\$ 24,750	\$ 3.75	
060000 - WOOD & PLASTICS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISC BLOCKING/NAILERS-INTERIOR	6,600.00	SF	\$ 0.55	\$ 3,630		
MILLWORK/CASEWORK/ARCHITECTURAL WOODWORK	6,600.00	SF	\$ 4.50	\$ 29,700		GENERAL MW ALLOWANCE
SUBTOTAL- 060000 WOOD & PLASTICS				\$ 33,330	\$ 5.05	
070000 - THERMAL & MOISTURE PROTECTION						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
CAULKING & SEALANTS	6,600.00	SF	\$ 0.45	\$ 2,970		
SUBTOTAL- 070000 THERMAL & MOISTURE PROTECTION				\$ 2,970	\$ 0.45	
080000 - DOORS & WINDOWS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
DOORS/FRAMES/HW-INTERIOR	22.00	EA	\$ 2,050.00	\$ 45,100		
MISC INTERIOR WINDOWS/GLAZING	6,600.00	SF	\$ 0.55	\$ 3,630		
SUBTOTAL- 080000 DOORS & WINDOWS				\$ 48,730	\$ 7.38	
090000 - FINISHES						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
INTER PTNS/ FLOOR/WALL/BASE/CEILING FINISHES	6,600.00	SF	\$ 36.00	\$ 237,600		
SUBTOTAL- 090000 FINISHES				\$ 237,600	\$ 36.00	
DIVISION 100000 - SPECIALTIES						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISCELLANEOUS SPECIALTIES	6,600.00	SF	\$ 2.00	\$ 13,200		
SUBTOTAL- 100000 SPECIALTIES				\$ 13,200	\$ 2.00	
DIVISION 110000 - EQUIPMENT						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
MISCELLANEOUS EQUIPMENT	6,600.00	SF	\$ 0.25	\$ 1,650		
RESIDENTIAL APPLIANCES	-	EA	\$ 4,500.00	\$ -		N/A-OWNER FF & E
FOOD SERVICE EQUIPMENT-COMMERCIAL	-	LS	\$ -	\$ -		N/A-EXCLUDED
LAUNDRY EQUIPMENT	-	LS	\$ -	\$ -		N/A-EXCLUDED
MEDICAL EQUIPMENT	-	LS	\$ -	\$ -		N/A-OWNER FF & E
AV EQUIPMENT-	-	LS	\$ -	\$ -		N/A-OWNER FF & E
FACILITY MAINT EQUIPMENT	-	LS	\$ -	\$ -		N/A-OWNER FF & E
LOADING DOCK EQUIPMENT	-	LS	\$ -	\$ -		N/A-EXCLUDED
SUBTOTAL- 110000 EQUIPMENT				\$ 1,650	\$ 0.25	
DIVISION 120000 - FURNISHINGS						
BUILDING REMODEL*****	-	LS	\$ -	\$ -		
FLOOR/ENTRY MATS	-	LS	\$ 2,000.00	\$ -		
WINDOW TREATMENTS-ROLLER SHADES/BLINDS	-	SF	\$ 21.00	\$ -		N/A-OWNER FF & E
DEETENTION FURNISHINGS & EQUIPMENT	-	LS	\$ 65,000.00	\$ -		
SUBTOTAL- 120000 FURNISHINGS				\$ -	\$ -	

MOFFAT COUNTY COURTS & COUNTY SERVICES
MOFFAT COUNTY
CRAIG, CO

31-Jul-20
FCI CONSTRUCTORS, INC.
CONCEPTUAL PROGRAMMATIC COST MODEL-R1
BGSF
6,600.00

	DESCRIPTION			QTY	U/M	UNIT PRICE		TOTALS	COST/SF	NOTES/COMMENTS
KMART BUILDING - BUILD OUT OF CSU EXTENSION & HEALTH DEPTS										
DIVISION 270000 SPECIAL/LV SYSTEMS										
	DATA / COMMUNICATIONS-WIRING/DEVICES/EQUIP	-	SF	6,600.00	\$	2.00		\$ 13,200		
	AV SYSTEM-WIRING/DEVICES/EQUIPMENT-COURT ROOMS	-	EA	\$ 75,000.00	\$	-				N/A-OWNER FF & E
	AV SYSTEM-WIRING/DEVICES/EQUIPMENT-BOCC CHAMBERS	-	EA	\$ 75,000.00	\$	-				N/A-OWNER FF & E
	AV SYSTEM-WIRING/DEVICES/EQUIPMENT-CONF / TRAINING RMS	-	EA	\$ 25,000.00	\$	-				N/A-OWNER FF & E
	ACCESS CONTROL SYS-WIRING/DEVICES/EQUIP	-	SF	6,600.00	\$	1.10		\$ 7,260		
	SECURITY SYS-WIRING/DEVICES/EQUIPMENT	-	SF	6,600.00	\$	1.00		\$ 6,600		
	SUBTOTAL- SPECIAL/LV SYSTEMS							\$ 27,060	\$ 4.10	
DIVISION 310000 SITE DEVELOPMENT										
	SITE PREPARATION / EROSION & SEDIMENT CONTROL	-	AC	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	SITE CLEARING/SITE DEMO	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	EARTHWORK / SITE GRADING / CUT & FILL	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	IMPORTED BASE COURSE- PAVEMENT BASES	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	DOMESTIC/FIRE WATER SERVICE	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	STORM SEWER-MANHOLE/DRAINS/PIPING	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	SANITARY SEWER SERVICE-MANHOLDS/PIPING	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	NATURAL GAS SERVICE	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	SITE CONCRETE-FLATWORK	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	SITE FURNISHINGS- TRASH RECP/BENCHES	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	LANDSCAPING	-	LS	\$ -	\$	-		\$ -		N/A-SEE SITE DEV ESTIMATE
	SUBTOTAL- SITE DEVELOPMENT							\$ -	\$ -	
	SUBTOTAL-DIRECT COST-							\$ 652,300	\$ 98.83	
	CONTINGENCY/BONDS/INSURANCE/FEE'S							\$ 97,062	\$ 14.71	
	TOTAL ESTIMATED CONSTRUCTION COST							\$ 749,362	\$ 113.54	

